



PROJECT TEAM

DEVELOPER:
MURPHY WOOD INC.
1110 BURLINGAME AVENUE, SUITE 211
BURLINGAME, CALIFORNIA 94010
(650) 733-2988
POC: LOUISA ZEE KAO

ARCHITECT:
WHA
3767 WORSHAM AVE.,
LONG BEACH, CA 90808-7030
(949) 250-0607

POC: RICK AIKEN
PETER GABRICH
ISAAC AIKEN

PROJECT SUMMARY

ADDRESS:
128 LORTON AVENUE, BURLINGAME, CALIFORNIA

ASSESSOR'S PARCEL NUMBER:
029-231-210

EXISTING ZONING IN THE GENERAL PLAN:
R-4 DISTRICT, MULTI-FAMILY RESIDENTIAL CONDOMINIUM

CURRENT APPLICABLE CODES:
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN)

GROSS SITE AREA: .172 ACRES
MULTIFAMILY DWELLING UNITS: 19/DU
PARKING (CITY LIFT STACKED PARKING): 17 PARKING SPACES
DENSITY: 110.4 DU/AC
CONSTRUCTION TYPE: TYPE IIIA RESIDENTIAL OVER TYPE 1A PARKING GARAGE
OCCUPANCY GROUPS: R-2 RESIDENTIAL, S-2 PARKING GARAGE
PARKING GARAGE SQUARE FOOTAGE: 5,904 GROSS SF, NATURALLY VENTILATED
LOT COVERAGE: 78.7%
BICYCLE STORAGE: BICYCLE STORAGE WILL BE WITHIN DWELLING UNITS

VICINITY MAP

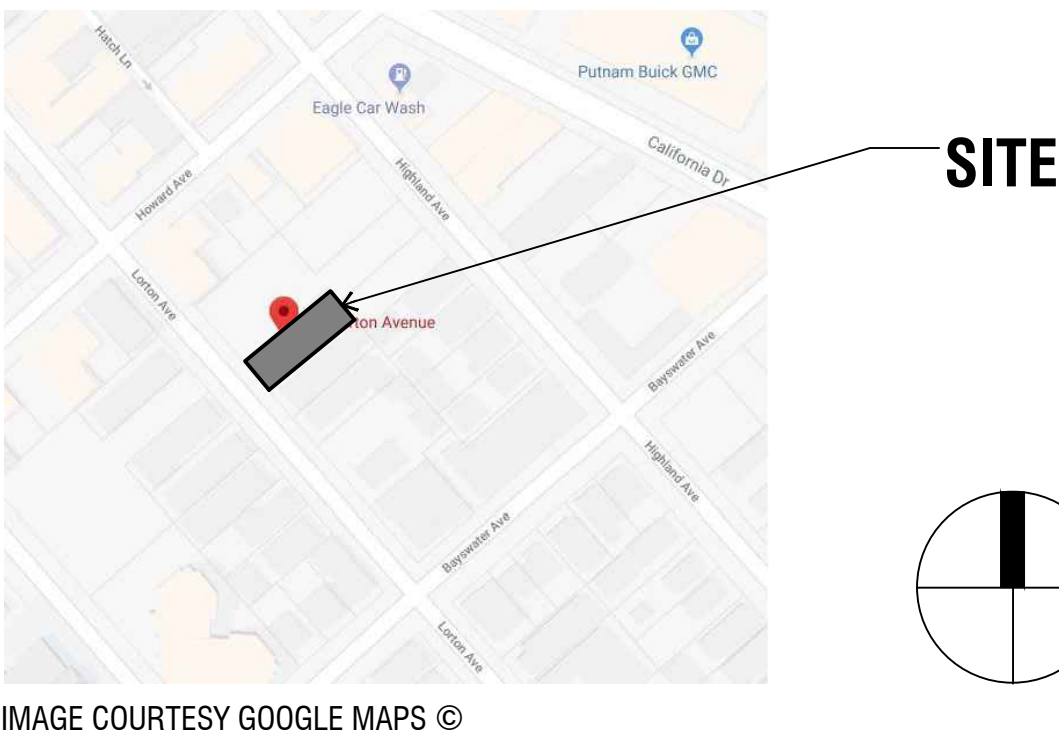


IMAGE COURTESY GOOGLE MAPS ©

SITE

ENTITLEMENT SUBMITTAL
128 LORTON AVENUE, BURLINGAME, CALIFORNIA

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A5.0	SHADOW STUDY
A5.1	SHADOW STUDY

BUILDING DEPARTMENT NOTES:

CONSTRUCTION HOURS: WEEKDAYS: 8:00AM TO 7:00PM
SATURDAYS: 9:00AM TO 6:00PM
SUNDAYS AND HOLIDAYS: NO WORK ALLOWED

SEE CITY OF BURLINGAME MUNICIPAL CODE SECTION 18.07.110 FOR DETAILS.

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00PM.

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.

ACCESSIBILITY REGULATIONS: CALIFORNIA BUILDING CODE CHAPTERS 11A AND 11B

REVISION LOG

NUMBER	DESCRIPTION	DATE
1	1ST CITY PLANNING SUBMITTAL	11/16/18
2	2ND CITY PLANNING SUBMITTAL	3/15/19
3	3RD CITY PLANNING SUBMITTAL	7/12/19
4	4TH CITY PLANNING SUBMITTAL	12/10/19
5	5TH CITY PLANNING SUBMITTAL	6/03/20
6	CITY PLANNING RESUBMITTAL-HEIGHT CHANGE	3/03/23
7	CITY PLANNING RESUBMITTAL-HEIGHT AMENDMENT	5/15/23

RECEIVED

MAY 23 2023

CITY OF BURLINGAME
CDD-PLANNING DIVISION

MURPHY WOOD INC.

1110 BURLINGAME AVE. SUITE 211
BURLINGAME, CALIFORNIA 94010

LORTON HEIGHTS

128 LORTON AVE.
BURLINGAME, CALIFORNIA

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23

COVER SHEET **A0.0**





AERIAL VIEW LOOKING NORTH



AERIAL VIEW LOOKING EAST



AERIAL VIEW LOOKING SOUTH



AERIAL VIEW LOOKING WEST

MURPHY WOOD INC.

1110 BURLINGAME AVE. SUITE 211
BURLINGAME, CALIFORNIA 94010

128 LORTON AVENUE

BURLINGAME, CALIFORNIA

NEIGHBORHOOD CONTEXT **A0.1**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23

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MURPHY WOOD INC.

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BURLINGAME, CALIFORNIA 94010

128 LORTON AVENUE

BURLINGAME, CALIFORNIA

NEIGHBORHOOD CONTEXT **A0.2**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23





LORTON AVE STREET LEVEL VIEW
APPROVED



LORTON AVE STREET LEVEL VIEW
PROPOSED



**APPROVED AERIAL VIEW FROM
NORTHEAST**



**PROPOSED AERIAL VIEW FROM
NORTHEAST**



**APPROVED AERIAL VIEW FROM
SOUTHEAST**



**PROPOSED AERIAL VIEW FROM
SOUTHEAST**

CLIENT APPROVAL

LORTON HEIGHTS
128 LORTON AVE.
BURLINGAME, CALIFORNIA

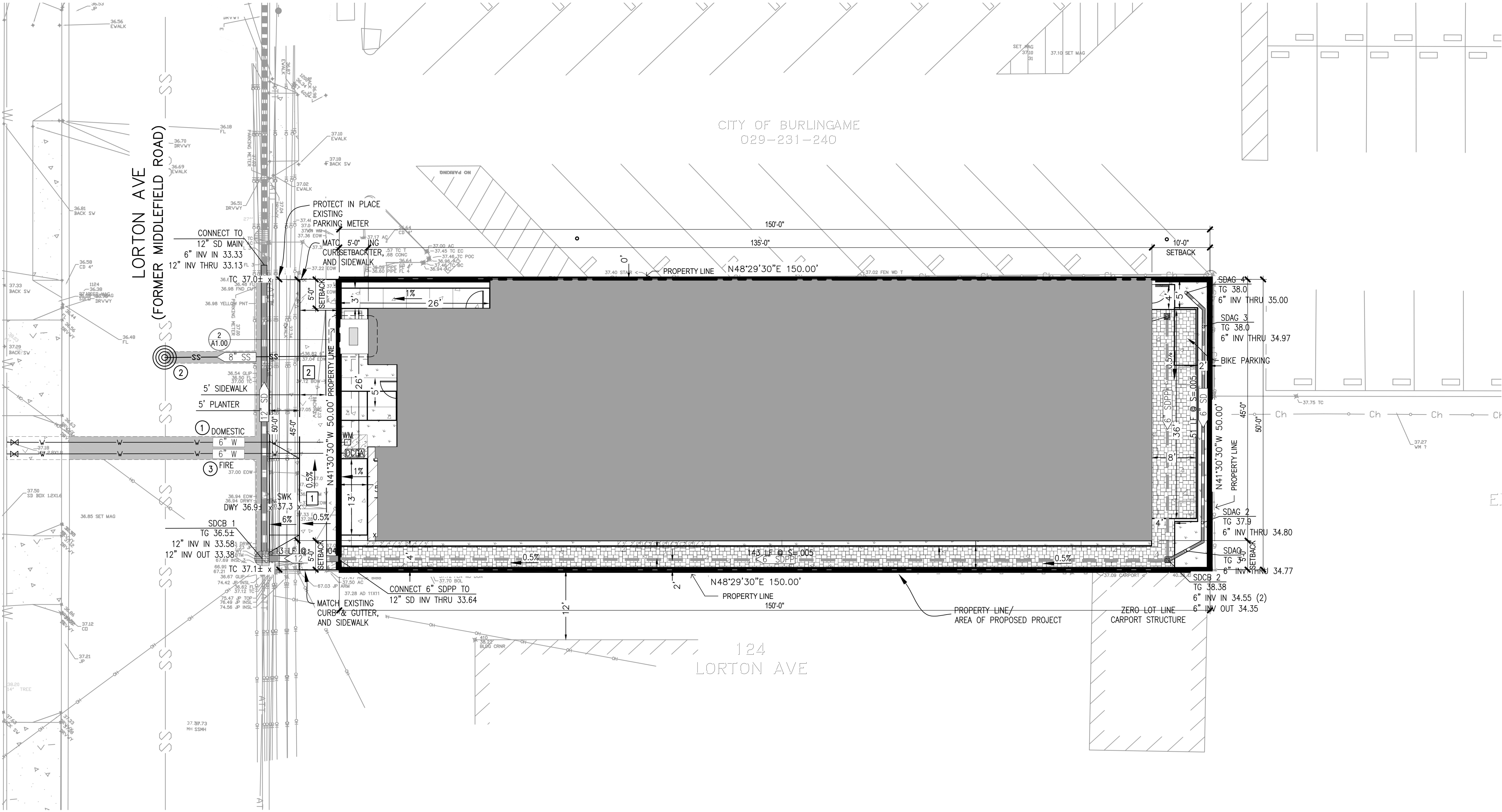
MURPHY WOOD
1110 BURLINGAME AV. SUITE 211

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WHA EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND
OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO
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WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY
WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT
OF WHA. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY
A THIRD PARTY, THE THIRD PARTY SHALL HOLD WHA HARMLESS.

[illegible]

ARCHITECTURAL SITE PLAN

SHEET SCALE:	As indicated
PROJECT MANAGER:	ISAAC AIKEN
DESIGNER:	RICK AIKEN
DRAWN BY:	ISAAC AIKEN
REVIEWED BY:	Reviewed By
1ST BLDG. DEPT. SUBMITTAL:	09-09-09
ISSUED FOR CONSTRUCTION:	Issued For Construction Date
JOB NUMBER:	2019306
DATE:	SHEET:
05-10-23	A1.00



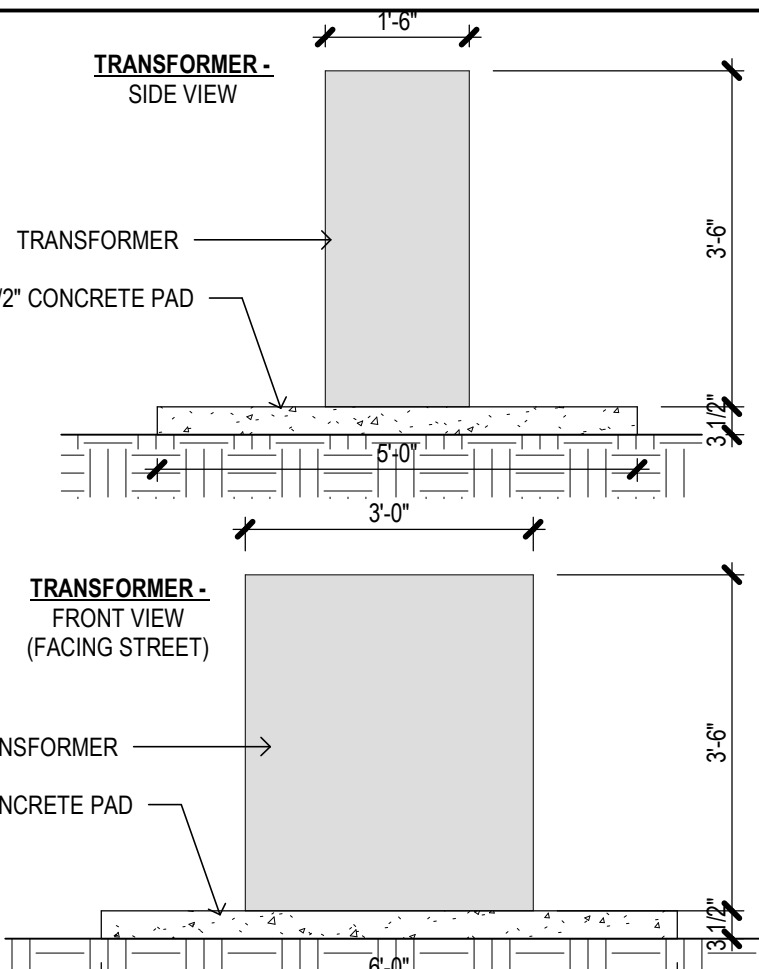
NORTH

A simple compass rose with a circle and four lines pointing to the cardinal directions. The word 'NORTH' is written above the top line.

SITE PLAN

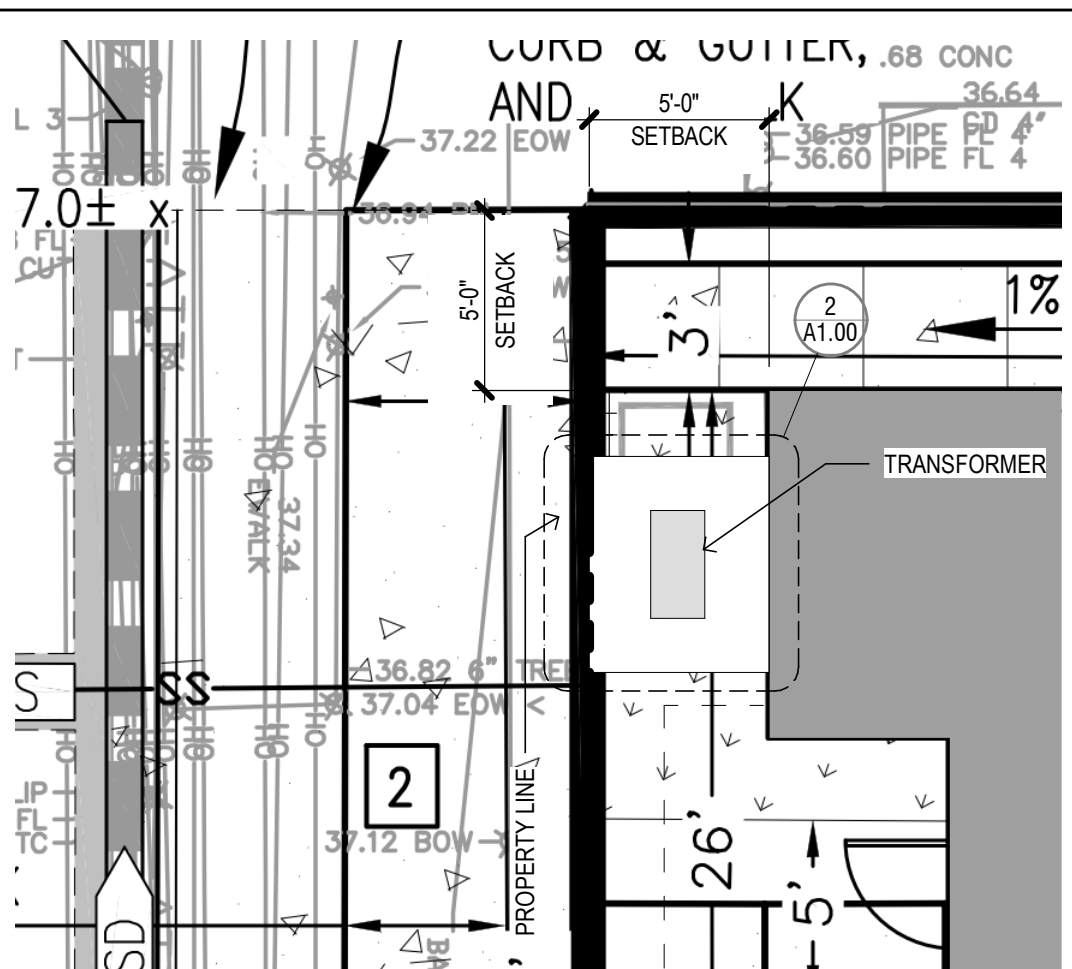
SCALE:

1



TRANSFORMER

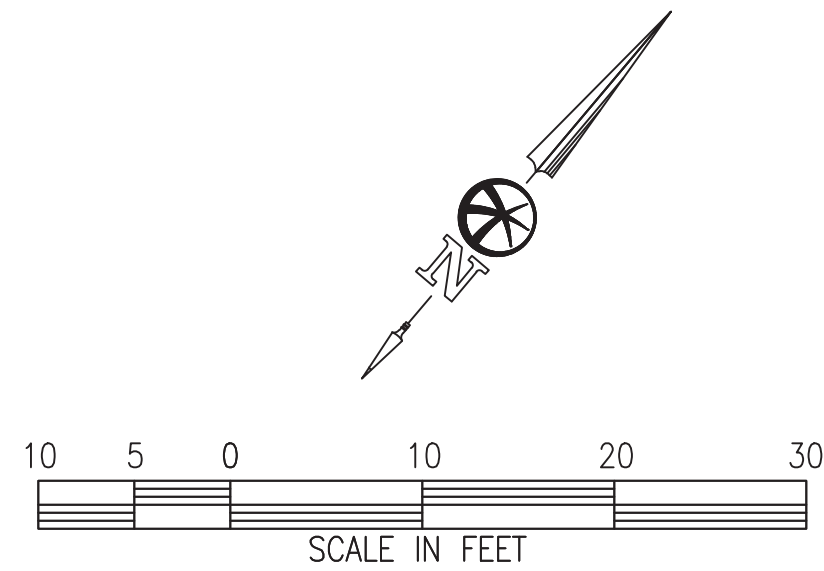
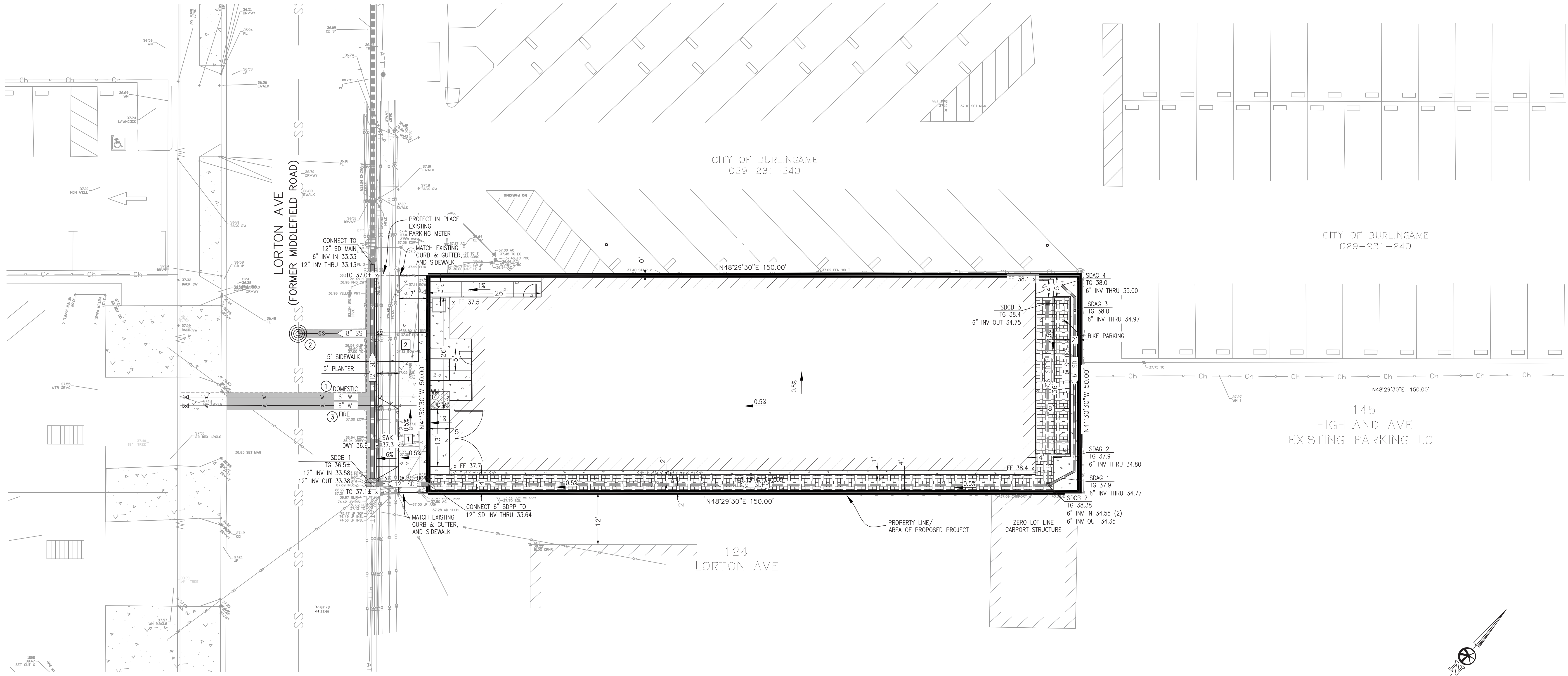
SCALE:
1/2" = 1'-0"



ENLARGED SITE PLAN

SCALE:
 $3/16" = 1'-0"$

3



SERVICE LATERAL NOTES:

1. NEW WATER METER AND POTABLE WATER LINE
2. SANITARY SEWER SERVICE FOR GARAGE
3. FIRE SERVICE FOR ENTIRE BUILDING

CONSTRUCTION NOTES:

1. REMOVE EXISTING DRIVEWAY. FILL WITH CONCRETE TO MATCH PROPOSED SIDEWALK.
2. REMOVE EXISTING TREE.

NOTES:

1. SETBACKS: ALL BUILDING SETBACKS ARE 1.0' TO PROPERTY LINE.
3. THIS PLAN WAS PREPARED FOR PROJECT ENTITLEMENT PURPOSES.
4. DESIGN INFORMATION SHOWN IN TENTATIVE AND SUBJECT TO CHANGE BASED ON FINAL DETAILED ENGINEERING DESIGN.
5. EXISTING TOPOGRAPHIC FEATURES SHOWN IN GRAYS.
6. ALL SIDEWALKS, DRIVEWAYS, CURB & GUTTER SHOULD BE CONSTRUCTED PER THE CITY OF BURLINGAME STANDARD DRAWING SW-1: SIDEWALK, DRIVEWAY, CURB AND GUTTER.

BASIS OF BEARINGS



THE BEARINGS OF THIS SURVEY ARE BASED ON THE LINE BETWEEN FOUND CUT CROSSES ON THE CONCRETE WALK OF HOWARD AVENUE AS SHOWN ON PARCEL MAP 61 PM 72 BEARING TAKEN AS N48°29'30"E.

VERTICAL DATUM: ELEVATIONS SHOWN ARE BASED ON NAVD 88.

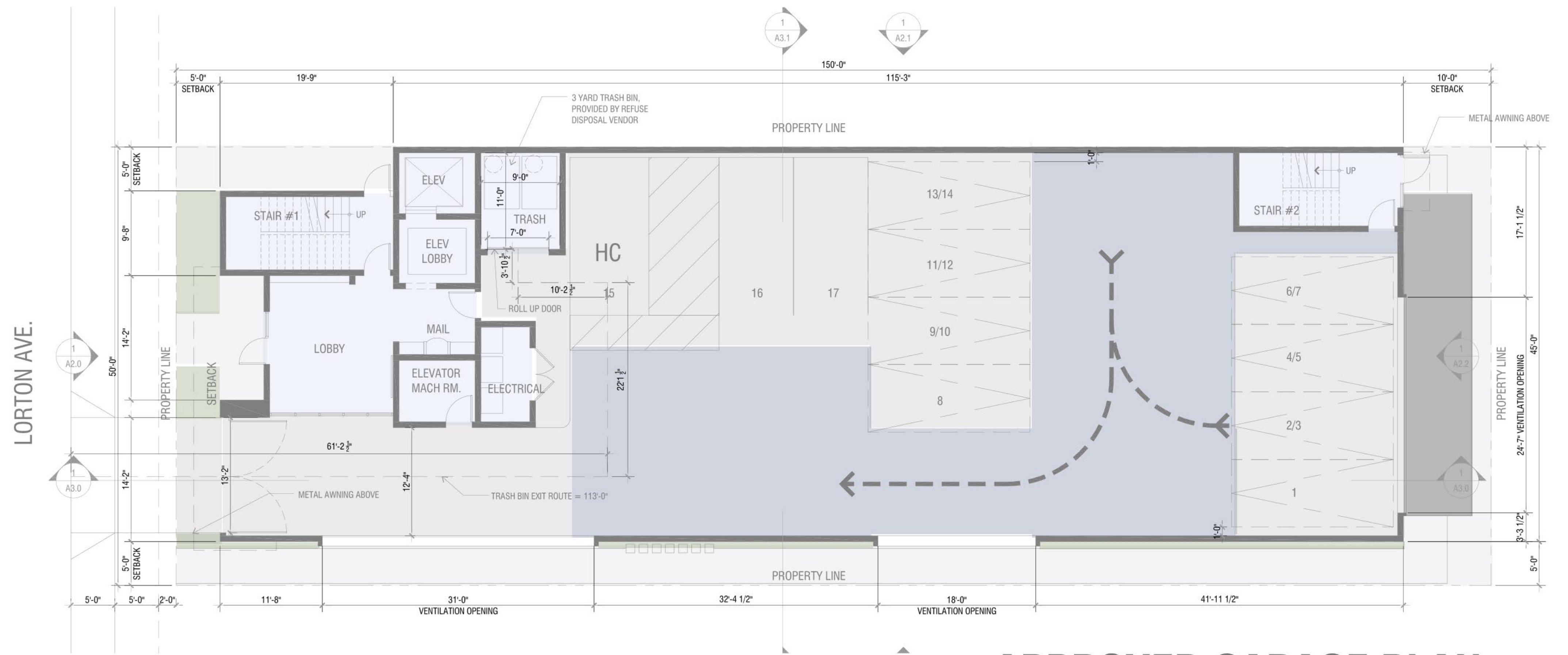
LEGEND

	BACKFLOW PREVENTION		BOX
	BOLLARD/POST		BACK OF WALK
	CATCH BASIN		CATCH BASIN
	ELECTRIC BOX		DOUBLE DETECTOR CHECK VALVE
	FIRE HYDRANT		DRAINAGE INLET
	FOUND MONUMENT		DRIVEWAY
	GAS VALVE		ELECTRIC
	GAS METER		FINISH FLOOR
	GUY ANCHOR		FENCE
	HANDICAP ADA PARKING		GRADE BREAK
	JOINT UTILITY POLE		INVERT ELEVATION
	LIGHT POLE		JOINT POLE
	MONITORING WELL		LIGHT POLE
	SANITARY SEWER CLEAN OUT		MANHOLE
	SANITARY SEWER MANHOLE		MONITORING WELL
	SIGN		STORM DRAIN
	STORM DRAIN MANHOLE		STORM DRAIN CATCH BASIN
	TELEPHONE BOX		STORM DRAIN CLEAN OUT
	WATER METER		STORM DRAIN MAN HOLE
	WATER VALVE		STORM DRAIN PERFORATED PIPE
	BUILDING		STORM DRAIN TRENCH DRAIN
	CHAINLINK FENCE		STREETLIGHT
	PROPERTY LINE		SANITARY SEWER
	WALL		SANITARY SEWER MANHOLE
	ATT LINE		SIDEWALK
	SANITARY SEWER LINE		UTILITY
	STORM DRAIN LINE		WATER VALVE
	WATERLINE		WATER METER
	SAWCUT LINE		WETLAND MODULAR SYSTEM
	PROPOSED CONCRETE		
	PROPOSED ASPHALT		
	PROPOSED PERVIOUS PAVERS		
	PROPOSED LANDSCAPE		
	PROPOSED STORM DRAIN LINE		
	PROPOSED STORM DRAIN PERFORATED PIPE		

PRELIMINARY
3RD SUBMITTAL - MAY 25, 2023

SHEET: C0.07	JOB NO. 230063	128 LORTON AVENUE	TENTATIVE MAP	 REGISTERED PROFESSIONAL ENGINEER ALEXANDER C. BELLECCI No. 91471 CIVIL STATE OF CALIFORNIA	05/25/2023 DATE PI	 40 th Bellecci ANNIVERSARY 1983-2023 925-685-4569 bellecci.com	NO.	DESCRIPTION	BY	DATE	
BURLINGAME			SAN MATEO COUNTY	CALIFORNIA	CHECKED BY						

THE LANDSCAPING AREA PROVIDED WITHIN THE FRONT SETBACK AREA MEASURES 121.3 SF (48.5% OF FRONT SETBACK AREA). AN ADDITIONAL 45 SF IS WITHIN THE ALCOVE FOR A TOTAL OF 167.2 SF OF LANDSCAPE AREA

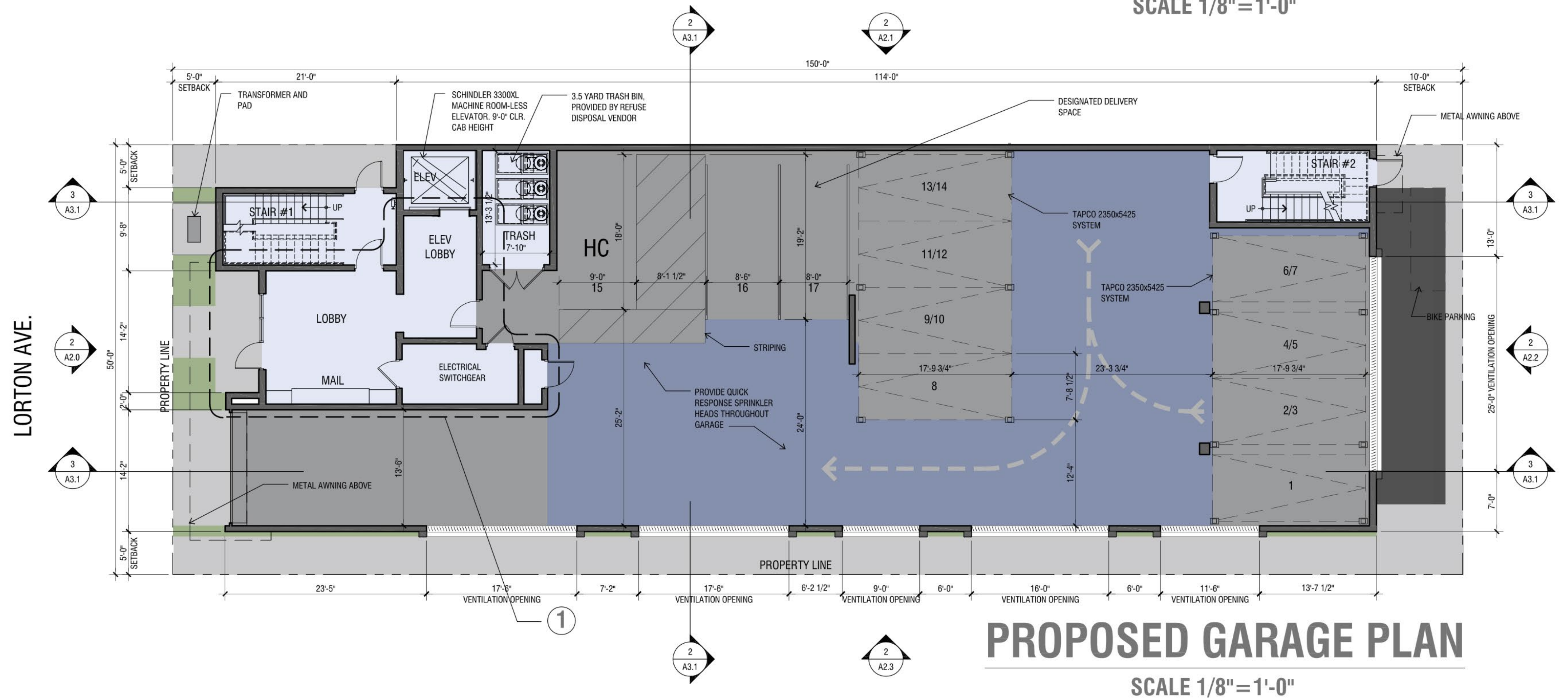


APPROVED GARAGE PLAN

SCALE 1/8" = 1'-0"

NOTES - BUILDING PLANS

1. NEW LOBBY LAYOUT IMPROVES CIRCULATION

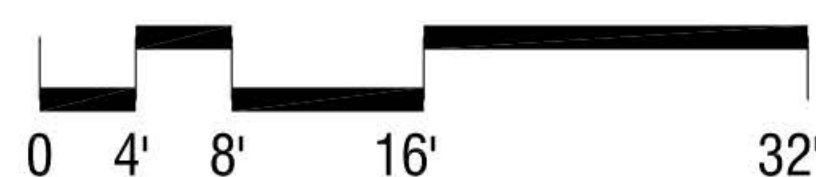
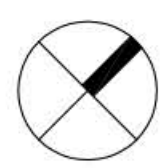


PROPOSED GARAGE PLAN

SCALE 1/8" = 1'-0"

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1110 BURLINGAME AVE. SUITE 211
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128 LORTON AVENUE

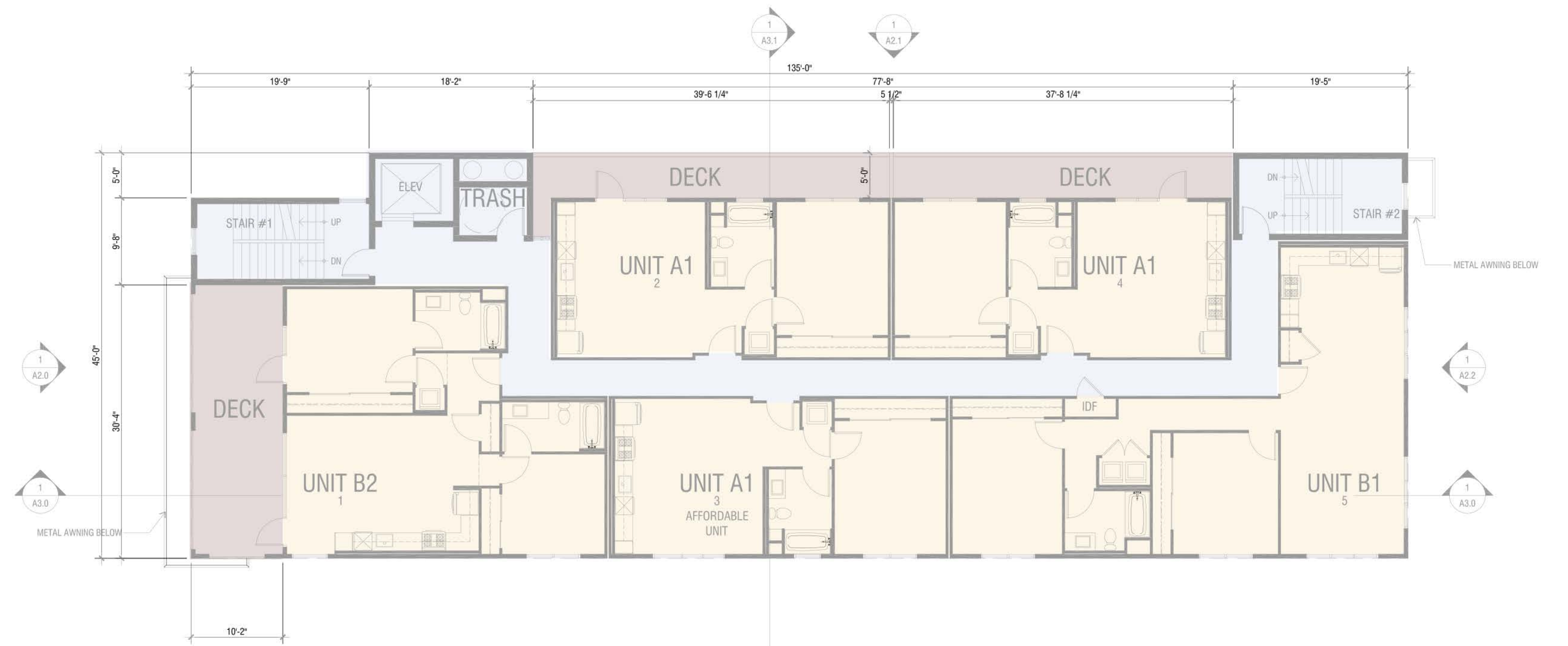
BURLINGAME, CALIFORNIA

BUILDING PLAN **A1.0**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

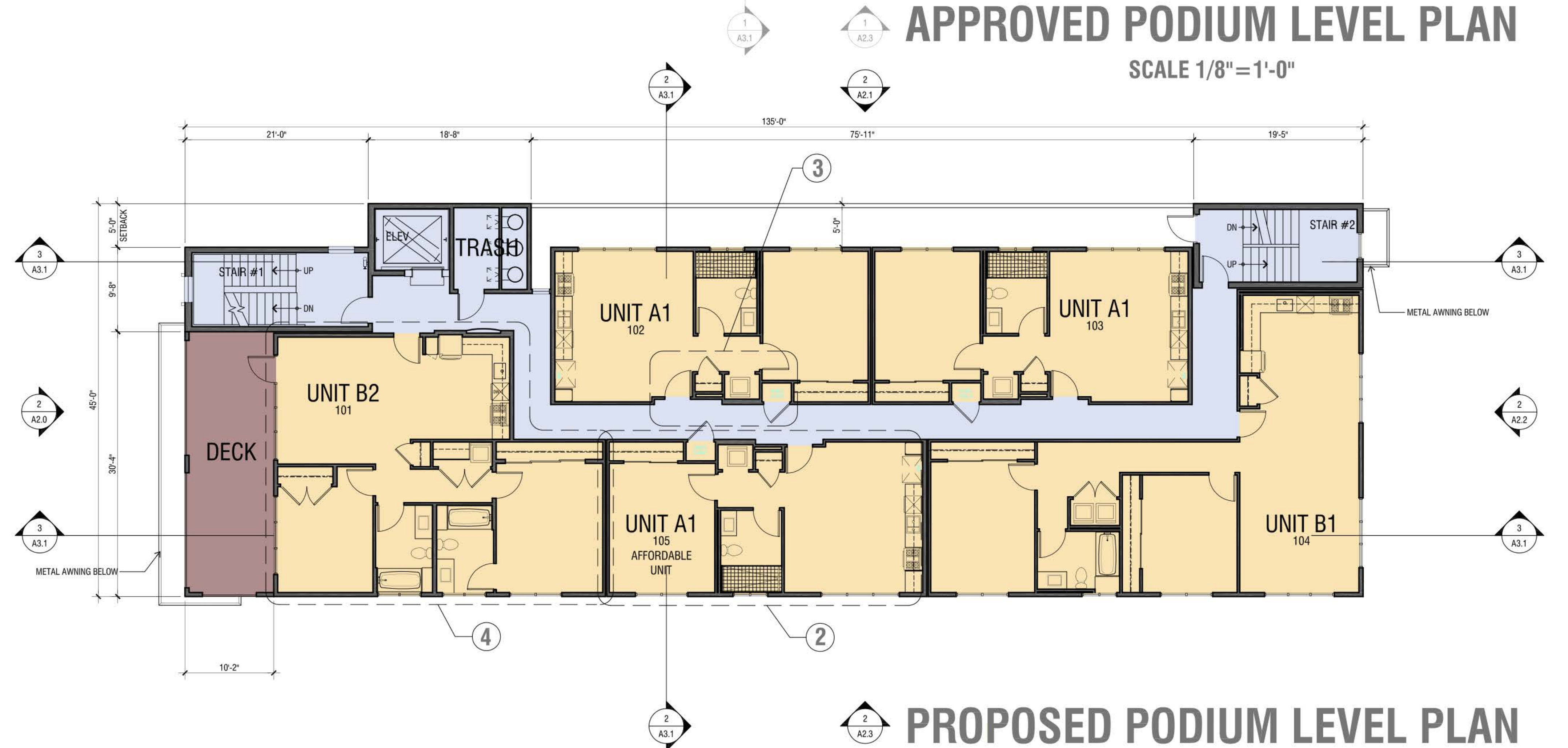
05-15-23

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APPROVED PODIUM LEVEL PLAN

SCALE 1/8" = 1'-0"



PROPOSED PODIUM LEVEL PLAN

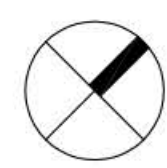
SCALE 1/8" = 1'-0"

NOTES - BUILDING PLANS

2. UNIT A1 - (105) HAS BEEN FLIPPED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION
3. UNIT A1 - INTERIOR ENTRY MODIFIED SEE ENLARGED PLAN
4. UNIT B2 - HAS BEEN REDESIGNED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION.

MURPHY WOOD INC.

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128 LORTON AVENUE

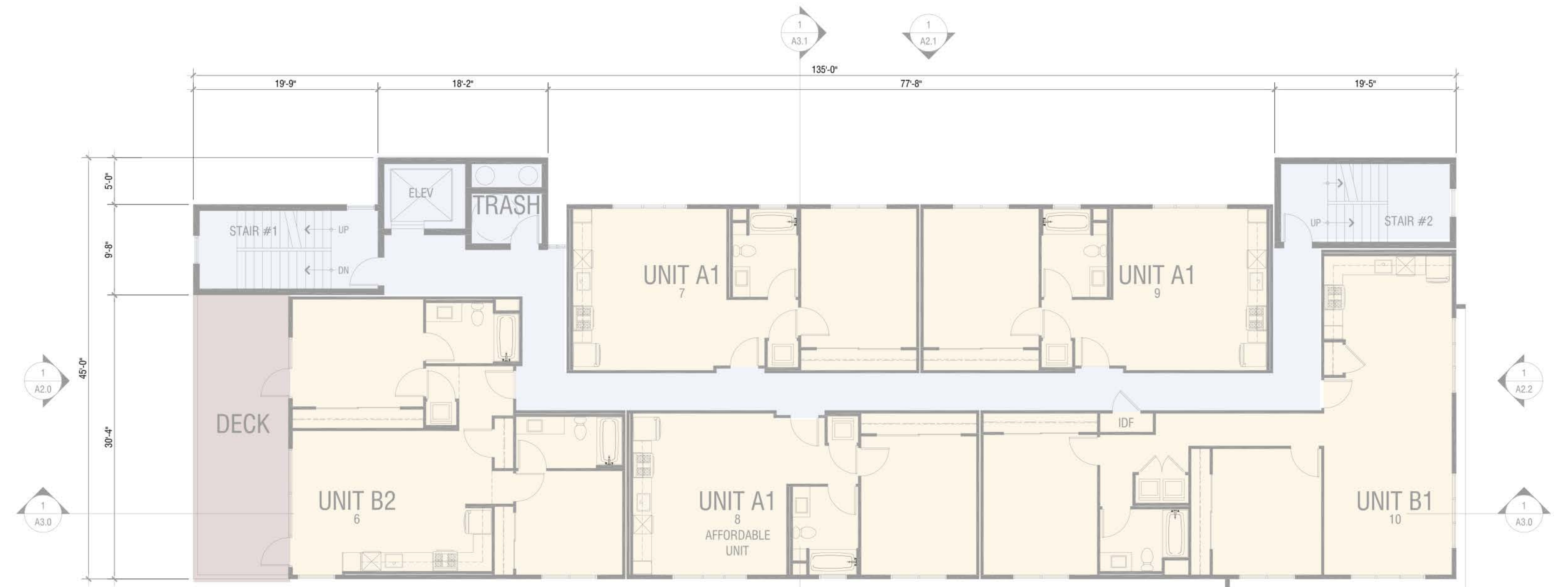
BURLINGAME, CALIFORNIA

BUILDING PLAN A1.1

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

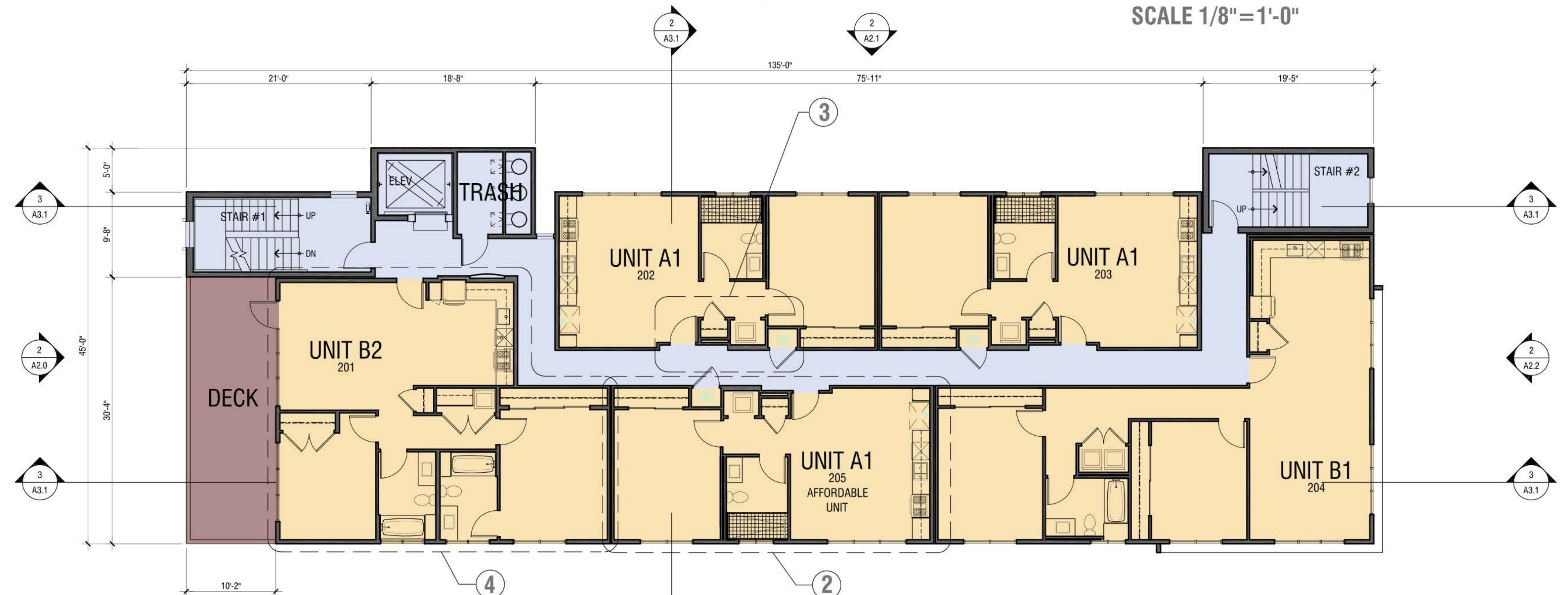
05-15-23

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APPROVED SECOND LEVEL PLAN

SCALE 1/8" = 1'-0"



PROPOSED SECOND LEVEL PLAN

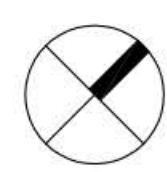
SCALE 1/8" = 1'-0"

NOTES - BUILDING PLANS

2. UNIT A1 - (205) HAS BEEN FLIPPED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION
3. UNIT A1 - INTERIOR ENTRY MODIFIED SEE ENLARGED PLAN
4. UNIT B2 - HAS BEEN REDESIGNED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION.

MURPHY WOOD INC.

1110 BURLINGAME AVE. SUITE 211
BURLINGAME, CALIFORNIA 94010



128 LORTON AVENUE

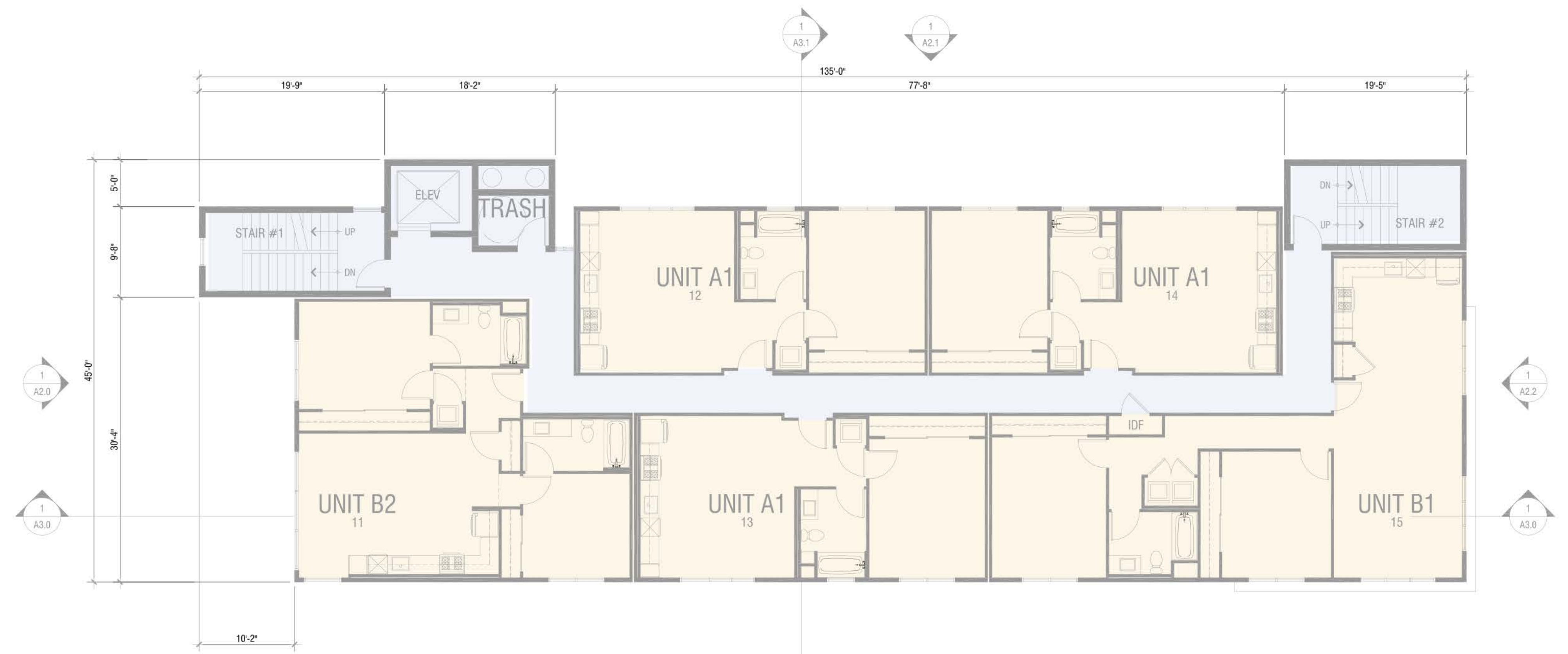
BURLINGAME, CALIFORNIA

BUILDING PLAN **A1.2**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

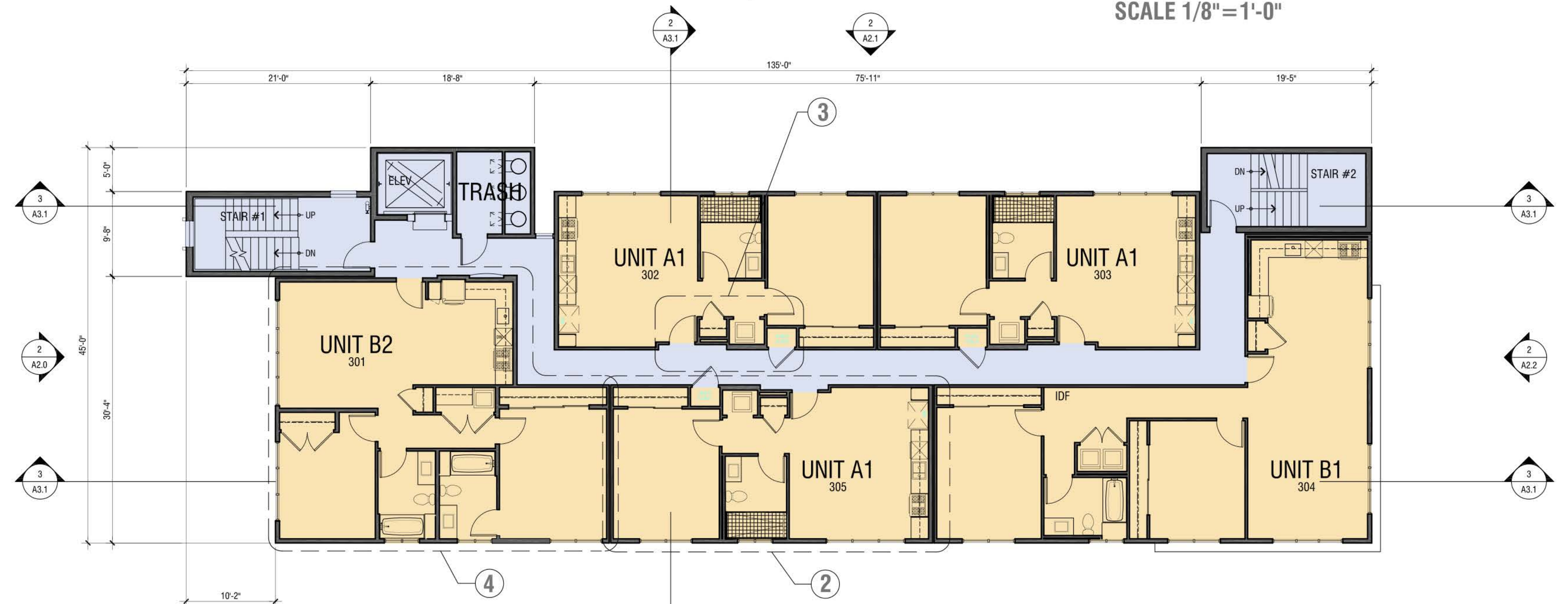
05-15-23

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APPROVED THIRD LEVEL PLAN

SCALE 1/8"=1'-0"



PROPOSED THIRD LEVEL PLAN

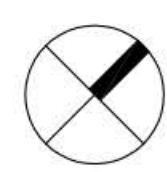
SCALE 1/8"=1'-0"

NOTES - BUILDING PLANS

2. UNIT A1 - (305) HAS BEEN FLIPPED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION
3. UNIT A1 - INTERIOR ENTRY MODIFIED SEE ENLARGED PLAN
4. UNIT B2 - HAS BEEN REDESIGNED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION.

MURPHY WOOD INC.

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BURLINGAME, CALIFORNIA 94010



128 LORTON AVENUE

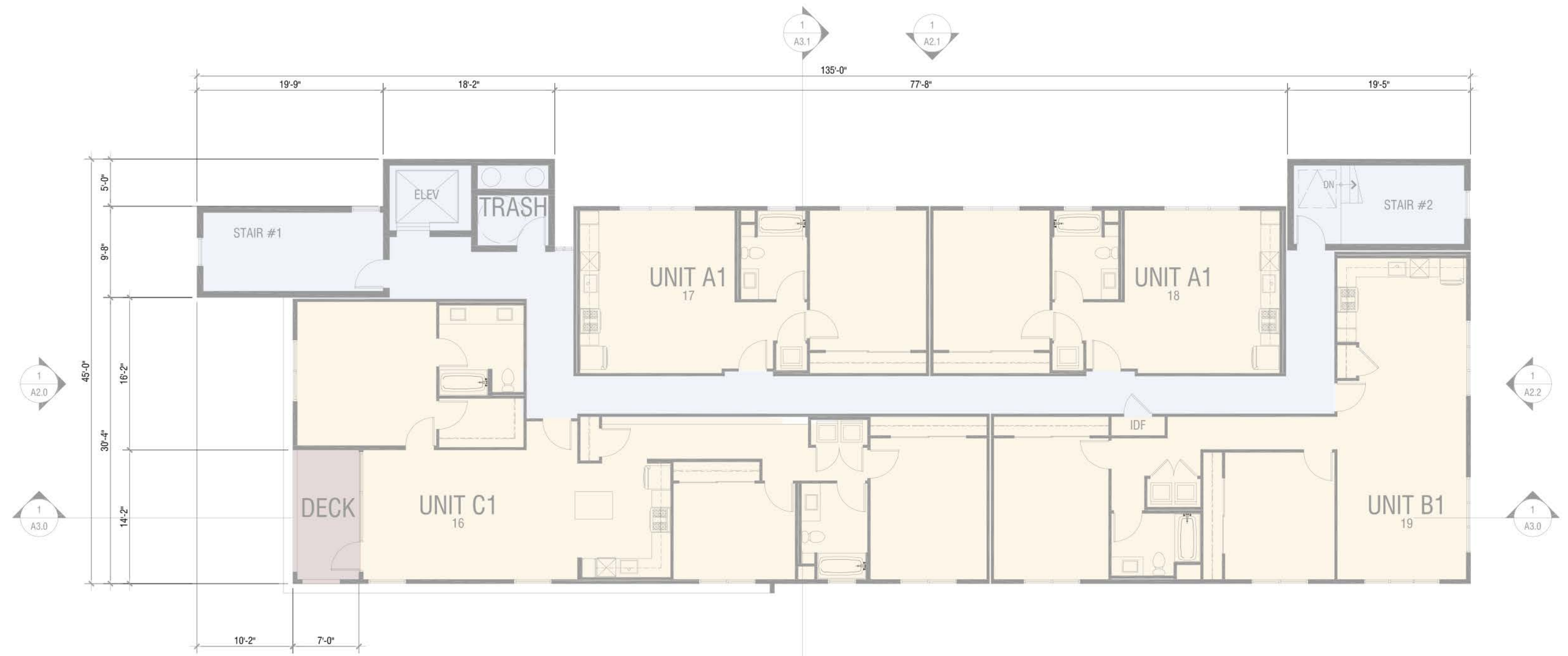
BURLINGAME, CALIFORNIA

BUILDING PLAN **A1.3**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

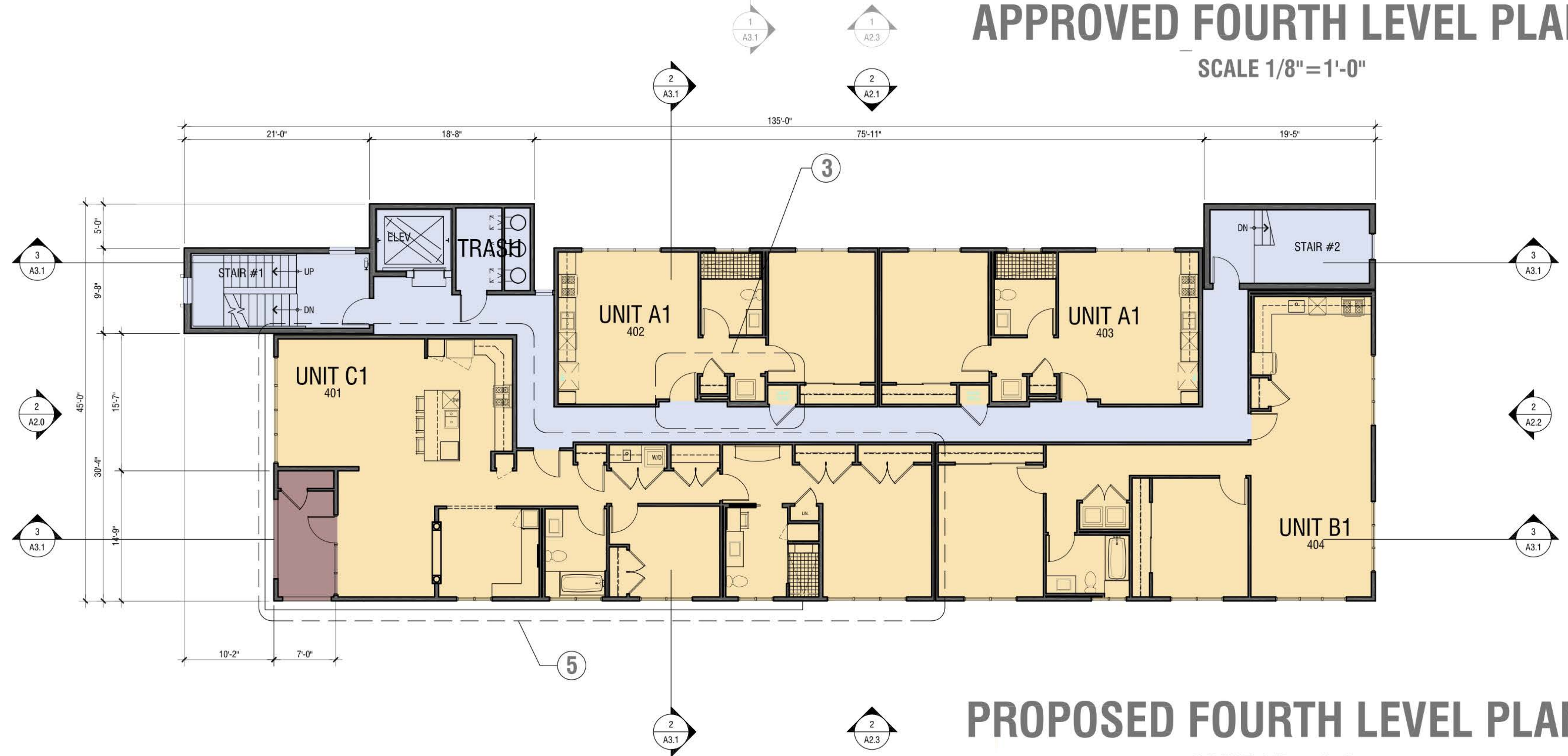
05-15-23

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APPROVED FOURTH LEVEL PLAN

SCALE 1/8"=1'-0"



PROPOSED FOURTH LEVEL PLAN

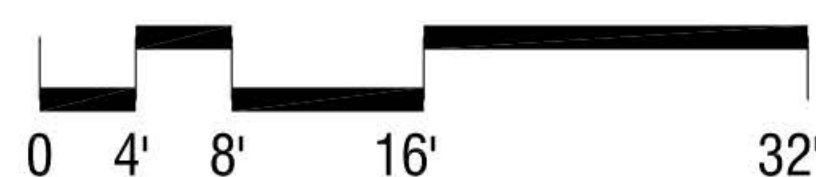
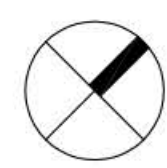
SCALE 1/8"=1'-0"

NOTES - BUILDING PLANS

3. UNIT A1 - INTERIOR ENTRY MODIFIED SEE ENLARGED PLAN
5. UNIT C2 - HAS BEEN REDESIGNED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION

MURPHY WOOD INC.

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128 LORTON AVENUE

BURLINGAME, CALIFORNIA

BUILDING PLAN **A1.4**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23

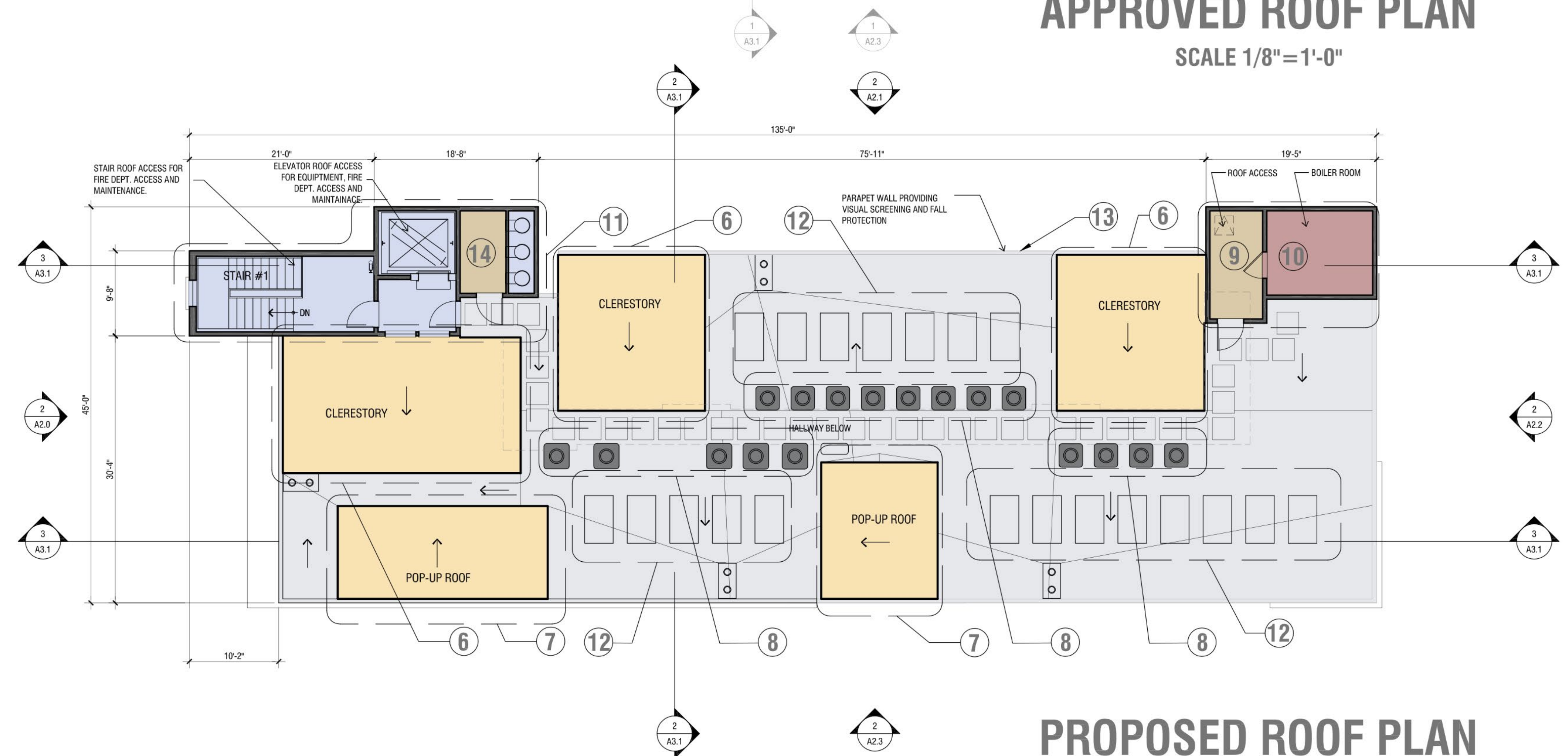
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APPROVED ROOF PLAN

SCALE 1/8"=1'-0"

NOTES - ROOF PLAN

6. CLEAR STORY POP-UP ROOFS AT LIVING AREAS WITH 2'-0" HIGH WINDOWS FOR CLERESTORIES
7. POP-UP ROOF TO ADD CEILING HEIGHT
8. A/C CONDENSER LOCATIONS
9. ROOF ACCESS
10. BOILER ROOM
11. STAIR AND ELEVATOR ACCESS TO THE ROOF FOR MAINTENANCE
12. POTENTIAL SOLAR PANEL LOCATION FOR (HOUSE PANEL POWER)
13. INCREASED HEIGHT OF PARAPETS TO HIDE MECH./EQUIPMENT. SEE SECTIONS FOR MORE DETAIL
14. ELEVATOR MACHINE ROOM

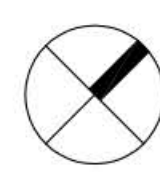


PROPOSED ROOF PLAN

SCALE 1/8"=1'-0"

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128 LORTON AVENUE

BURLINGAME, CALIFORNIA

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

ROOF PLAN A1.5

05-15-23

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WHA.

ORANGE COUNTY . LOS ANGELES . BAY AREA

MATERIALS LEGEND

- A. EXTERIOR CEMENT PLASTER WITH DECORATIVE REVEALS, 20/30 SAND FINISH
- B. PAINTED METAL AWNING
- C. MANUFACTURED STONE VENEER
- D. RECLAIMED WOOD SIDING
- E. PLASTER CORNICE WITH SMOOTH FINISH
- F. PLASTER TRIM WITH 20/30 SAND FINISH
- G. GLASS GUARDRAIL
- H. FIBERGLASS WINDOW WITH INTERIOR WOOD JAMB EXTENSIONS
- I. GLASS PANEL ENTRY DOOR
- J. LOUVERED GARAGE VENTILATION OPENING
- K. METAL GARAGE GATE
- L. DECORATIVE LIGHT FIXTURE
- M. TRANSFORMER



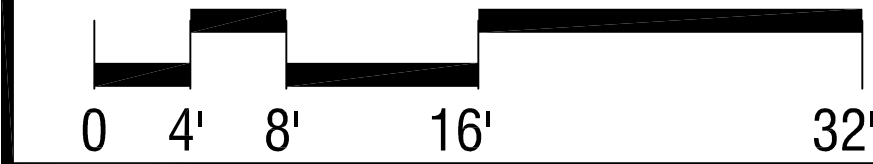
LORTON AVE ELEVATION - APPROVED SOUTHWEST ELEVATION 1



LORTON AVE ELEVATION - PROPOSED SOUTHWEST ELEVATION 2

MURPHY WOOD INC.

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BURLINGAME, CALIFORNIA 94010



LORTON HEIGHTS

128 LORTON AVE.
BURLINGAME, CALIFORNIA

BUILDING ELEVATIONS A2.0

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION
05-15-23





APPROVED REAR ELEVATION - NORTHEAST ①

MATERIALS LEGEND

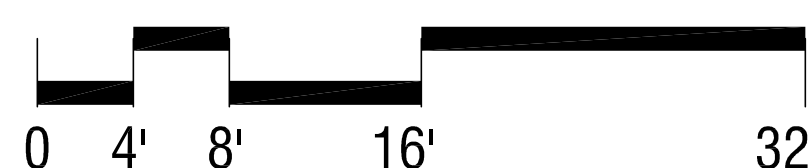
- A. EXTERIOR CEMENT PLASTER WITH DECORATIVE REVEALS, 20/30 SAND FINISH
- B. PAINTED METAL AWNING
- C. MANUFACTURED STONE VENEER
- D. RECLAIMED WOOD SIDING
- E. PLASTER CORNICE WITH SMOOTH FINISH
- F. PLASTER TRIM WITH 20/30 SAND FINISH
- G. GLASS GUARDRAIL
- H. FIBERGLASS WINDOW WITH INTERIOR WOOD JAMB EXTENSIONS
- I. GLASS PANEL ENTRY DOOR
- J. LOUVERED GARAGE VENTILATION OPENING
- K. METAL GARAGE GATE
- L. DECORATIVE LIGHT FIXTURE



PROPOSED REAR ELEVATION - NORTHEAST ②

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LORTON HEIGHTS

128 LORTON AVE.
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BUILDING ELEVATIONS **A2.2**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23

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ENTITLED SIDE ELEVATION - SOUTHEAST ①

MATERIALS LEGEND

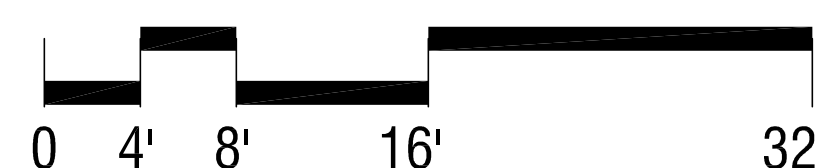
- A. EXTERIOR CEMENT PLASTER WITH DECORATIVE REVEALS, 20/30 SAND FINISH
- B. PAINTED METAL AWNING
- C. MANUFACTURED STONE VENEER
- D. RECLAIMED WOOD SIDING
- E. PLASTER CORNICE WITH SMOOTH FINISH
- F. PLASTER TRIM WITH 20/30 SAND FINISH
- G. GLASS GUARDRAIL
- H. FIBERGLASS WINDOW WITH INTERIOR WOOD JAMB EXTENSIONS
- I. GLASS PANEL ENTRY DOOR
- J. LOUVERED GARAGE VENTILATION OPENING
- K. METAL GARAGE GATE
- L. DECORATIVE LIGHT FIXTURE



PROPOSED SIDE ELEVATION - SOUTHEAST ②

MURPHY WOOD INC.

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LORTON HEIGHTS

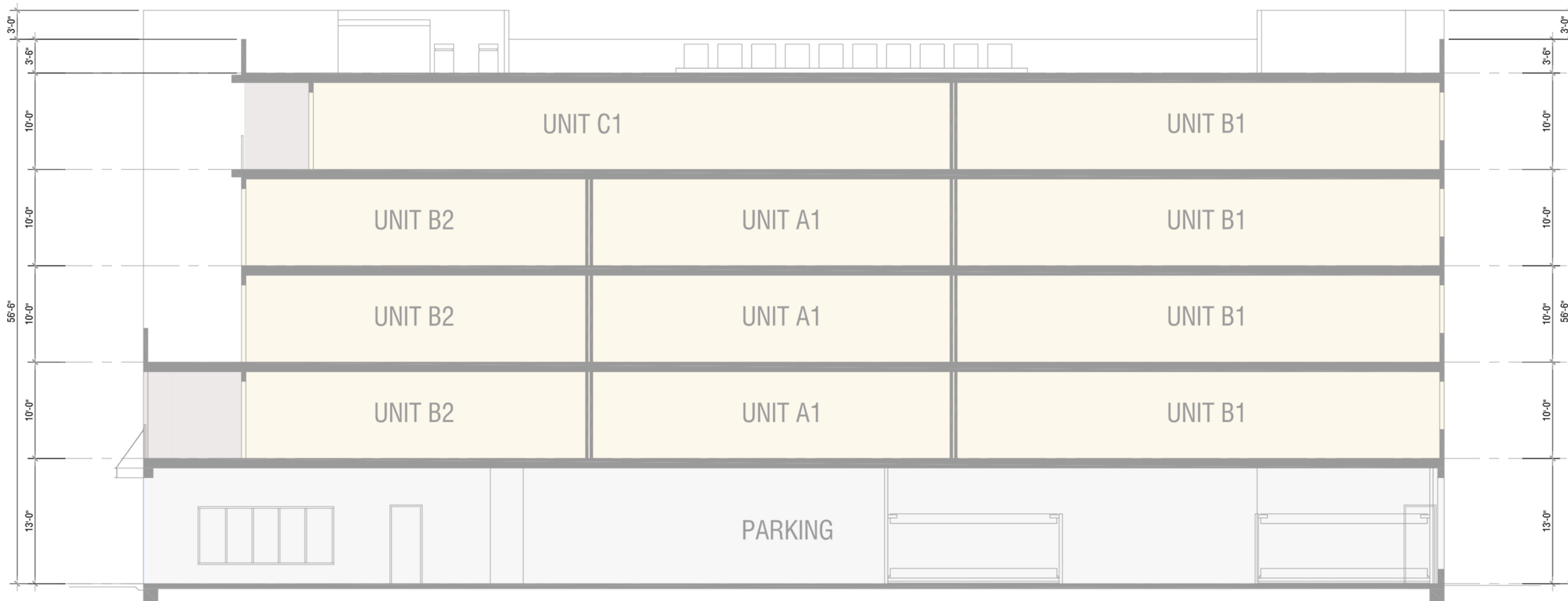
128 LORTON AVE.
BURLINGAME, CALIFORNIA

BUILDING ELEVATIONS **A2.3**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23

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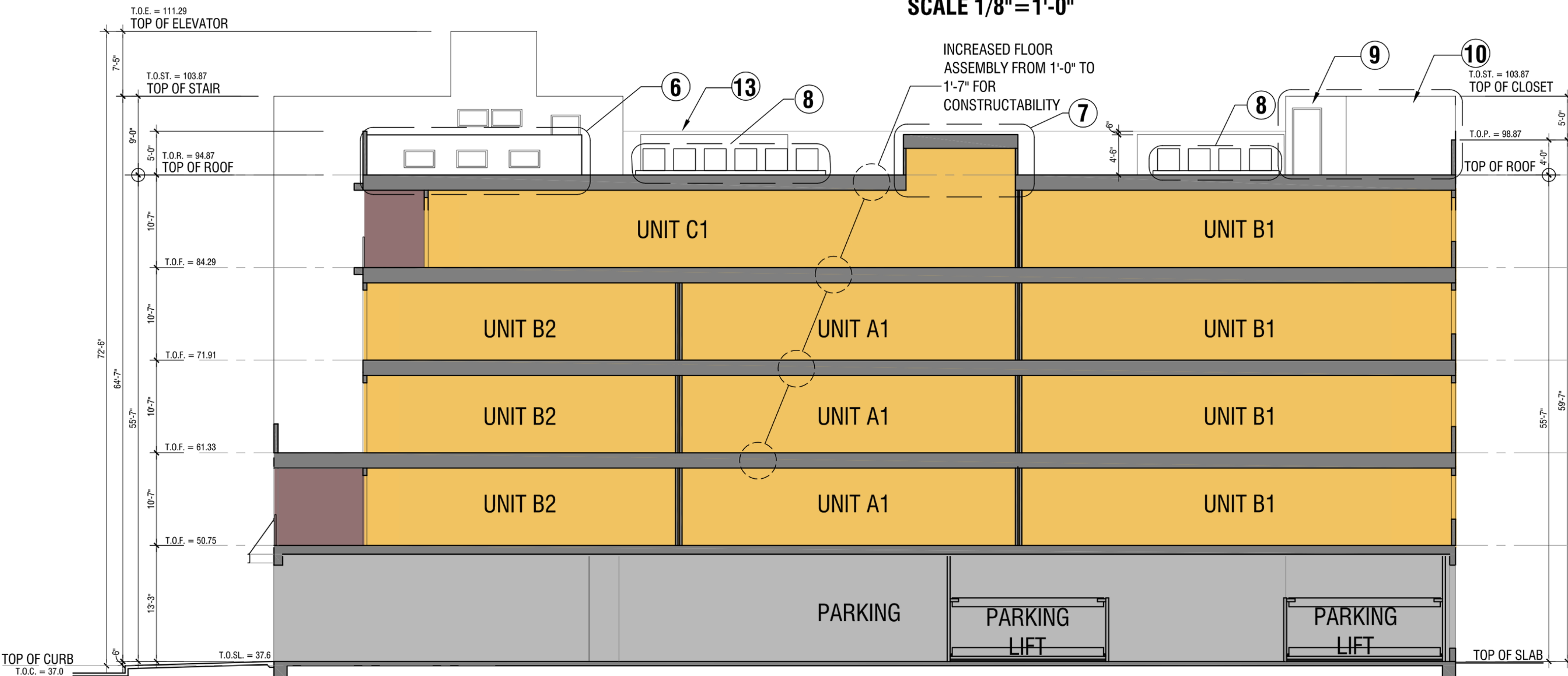
APPROVED BUILDING SECTION

1

SCALE 1/8"=1'-0"

NOTES - BUILDING SECTIONS

6. CLEAR STORY POP-UP ROOFS AT LIVING AREAS WITH 2'-0" HIGH WINDOWS FOR CLERESTORIES
7. VAULTED CEILING IN UNIT C1 BEDROOM. 4'-6" ABOVE TOP OF ROOF, 6" BELOW PARAPET.
8. A/C CONDENSER LOCATIONS
9. FIRE DEPARTMENT ROOF ACCESS
10. BOILER ROOM
13. INCREASED HEIGHT OF PARAPETS TO HIDE MECH./EQUIPMENT. SEE SECTIONS FOR MORE DETAIL



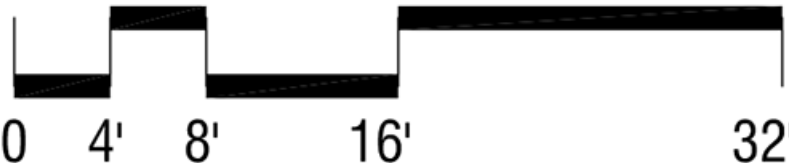
PROPOSED BUILDING SECTION

2

SCALE 1/8"=1'-0"

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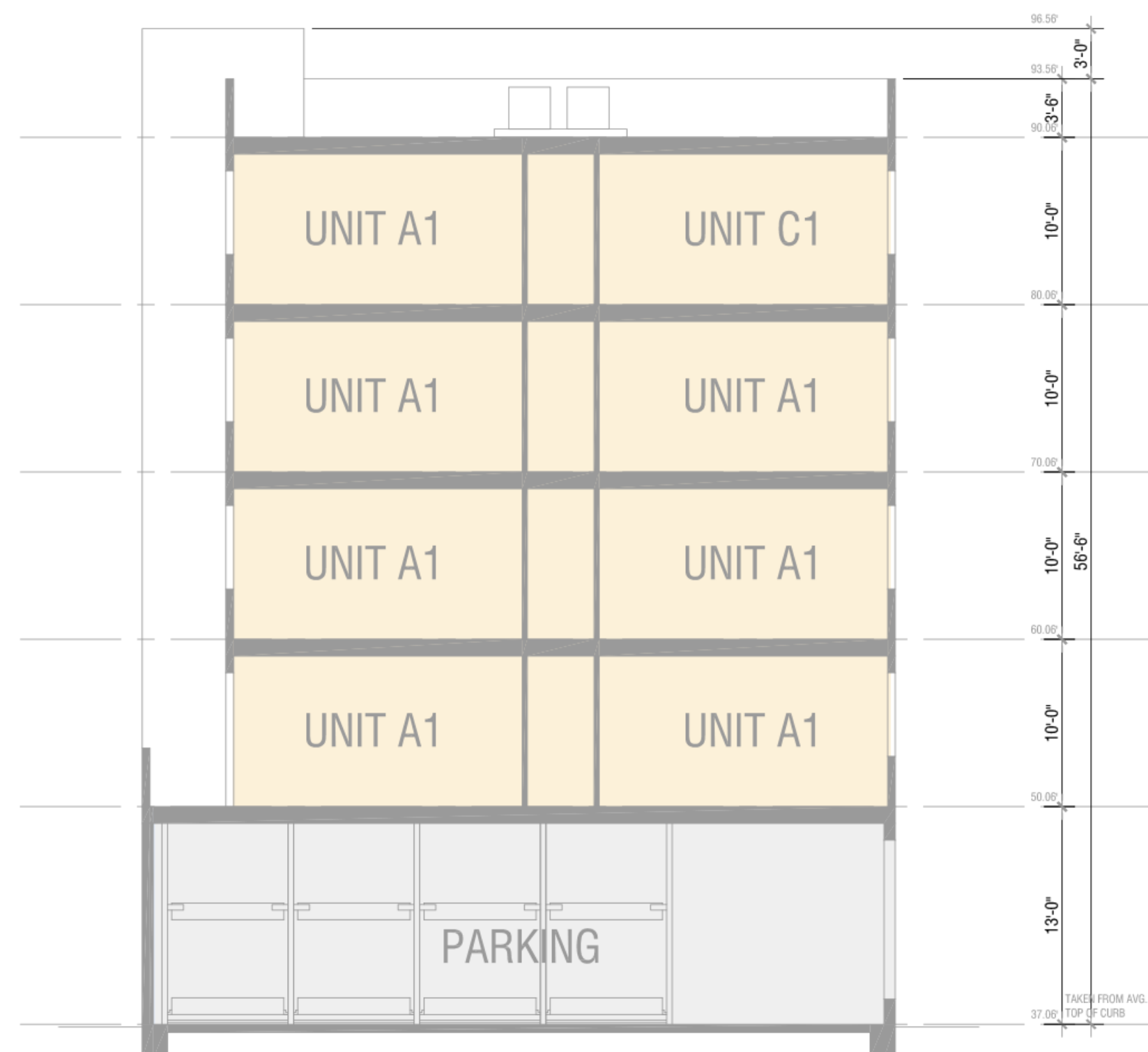
LORTON HEIGHTS

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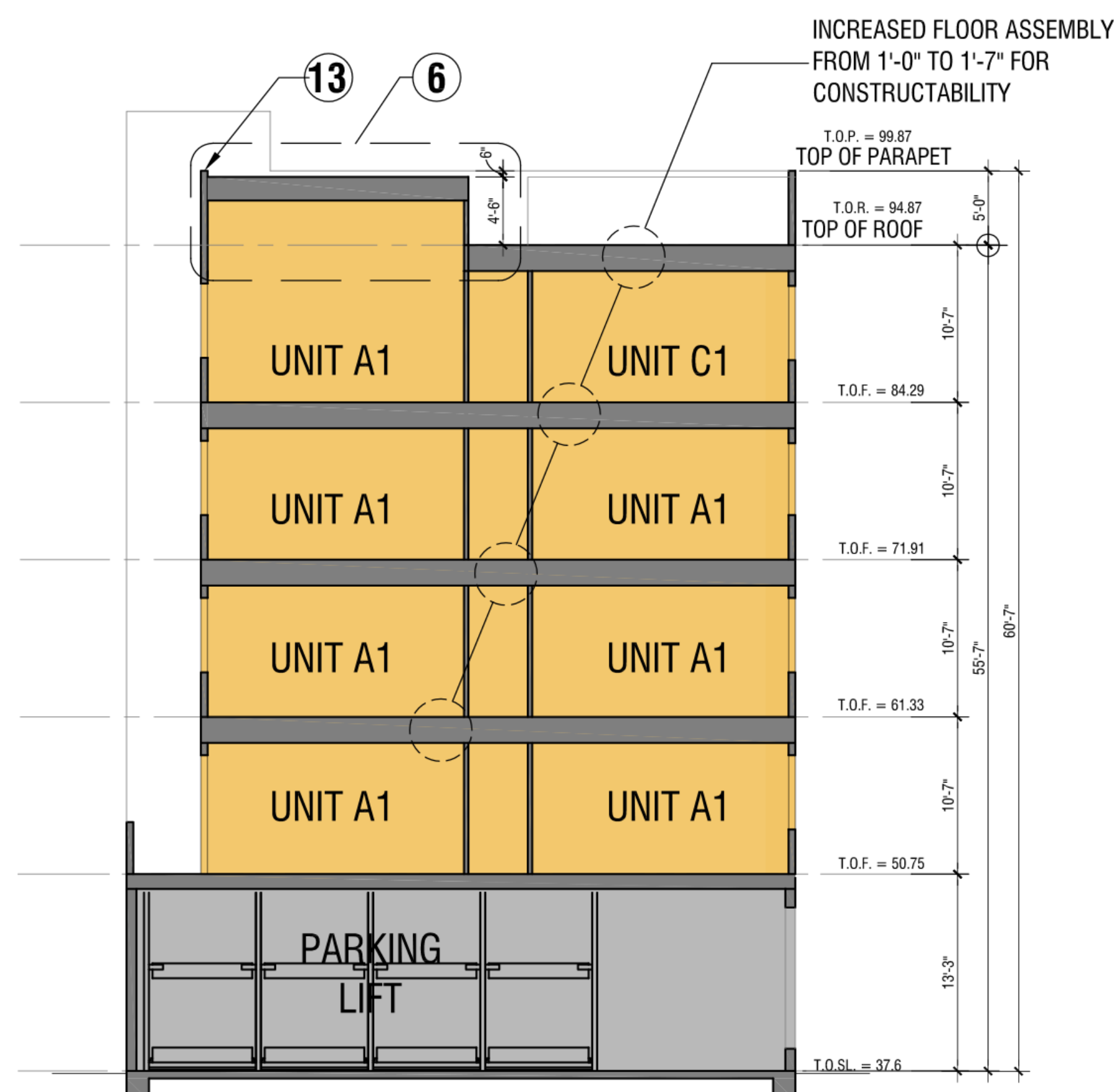
BUILDING SECTIONS **A3.0**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION
05-15-23

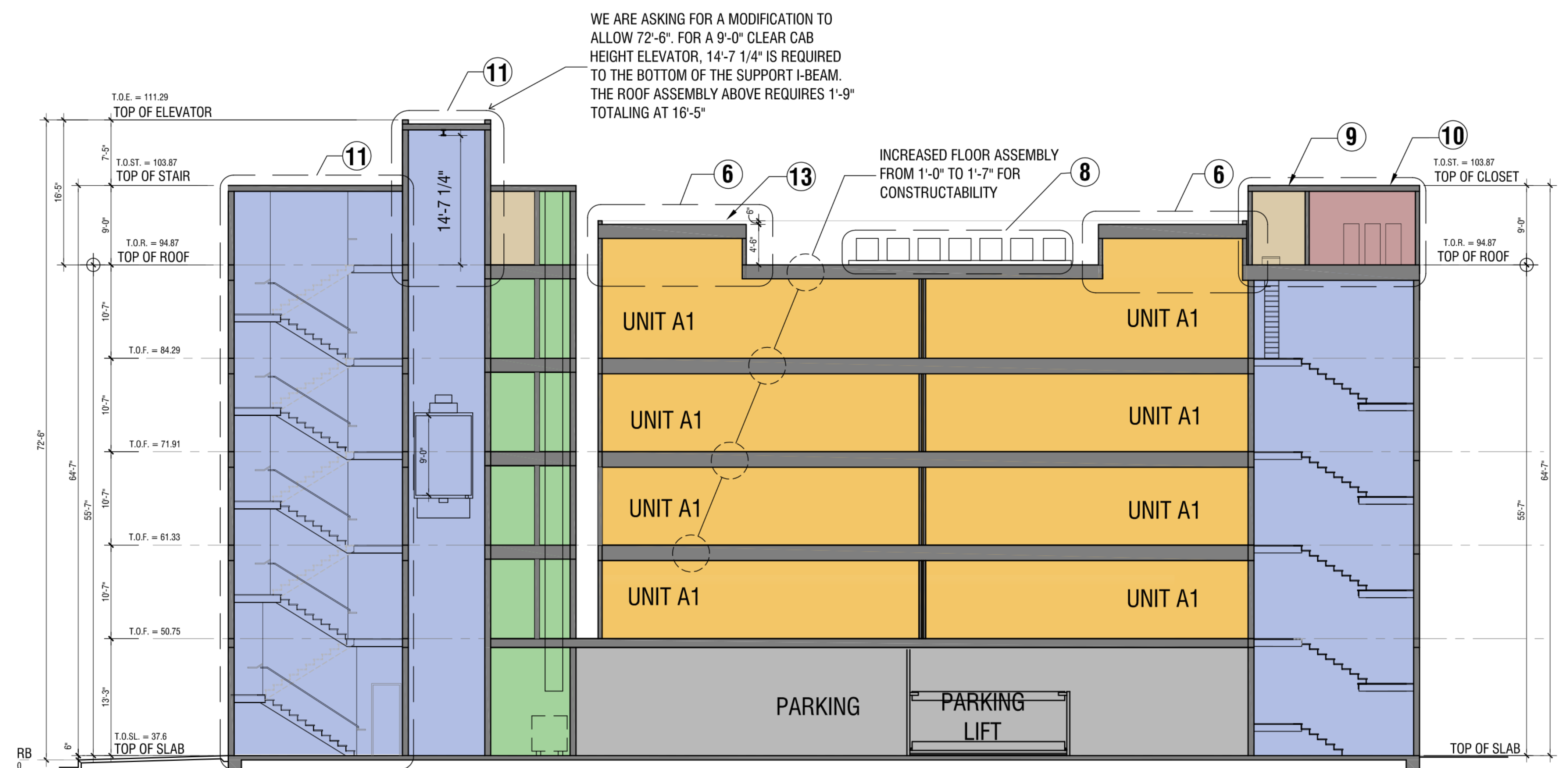




APPROVED BUILDING SECTION 1
SCALE 1/8"=1'-0"



PROPOSED BUILDING SECTION 2
SCALE 1/8"=1'-0"



PROPOSED BUILDING SECTION 3
SCALE 1/8"=1'-0"

NOTES - BUILDING SECTIONS

- CLEAR STORY POP-UP ROOFS AT LIVING AREAS WITH 2'-0" HIGH WINDOWS FOR CLERESTORIES
- A/C CONDENSER LOCATIONS
- FIRE DEPARTMENT ROOF ACCESS
- BOILER ROOM
- STAIR AND ELEVATOR ACCESS TO THE ROOF FOR MAINTENANCE.
- POTENTIAL SOLAR PANEL LOCATION FOR (HOUSE PANEL POWER)
- INCREASED HEIGHT OF PARAPETS TO HIDE MECH./EQUIPMENT. SEE SECTIONS FOR MORE DETAIL

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LORTON HEIGHTS

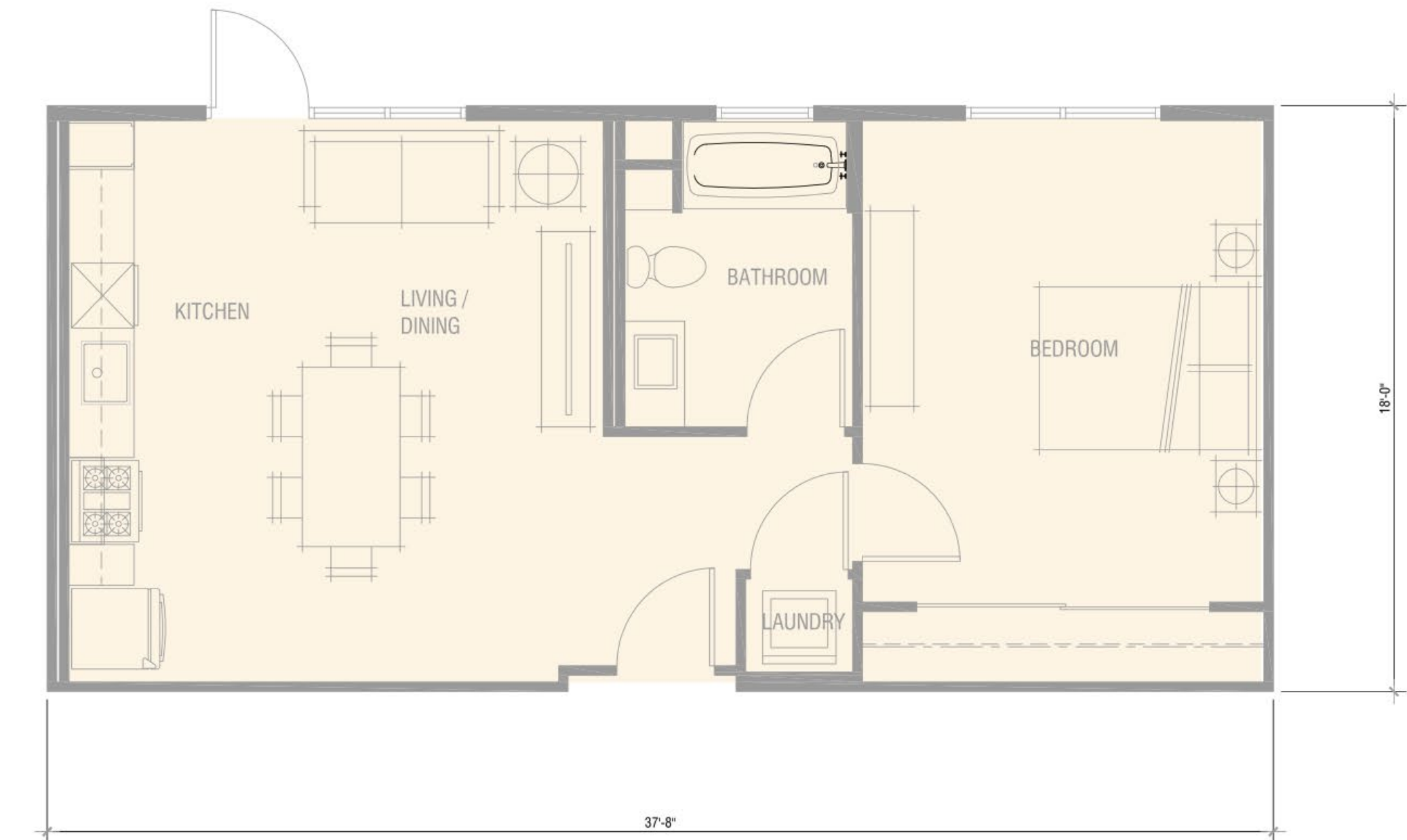
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BUILDING SECTIONS A3.1

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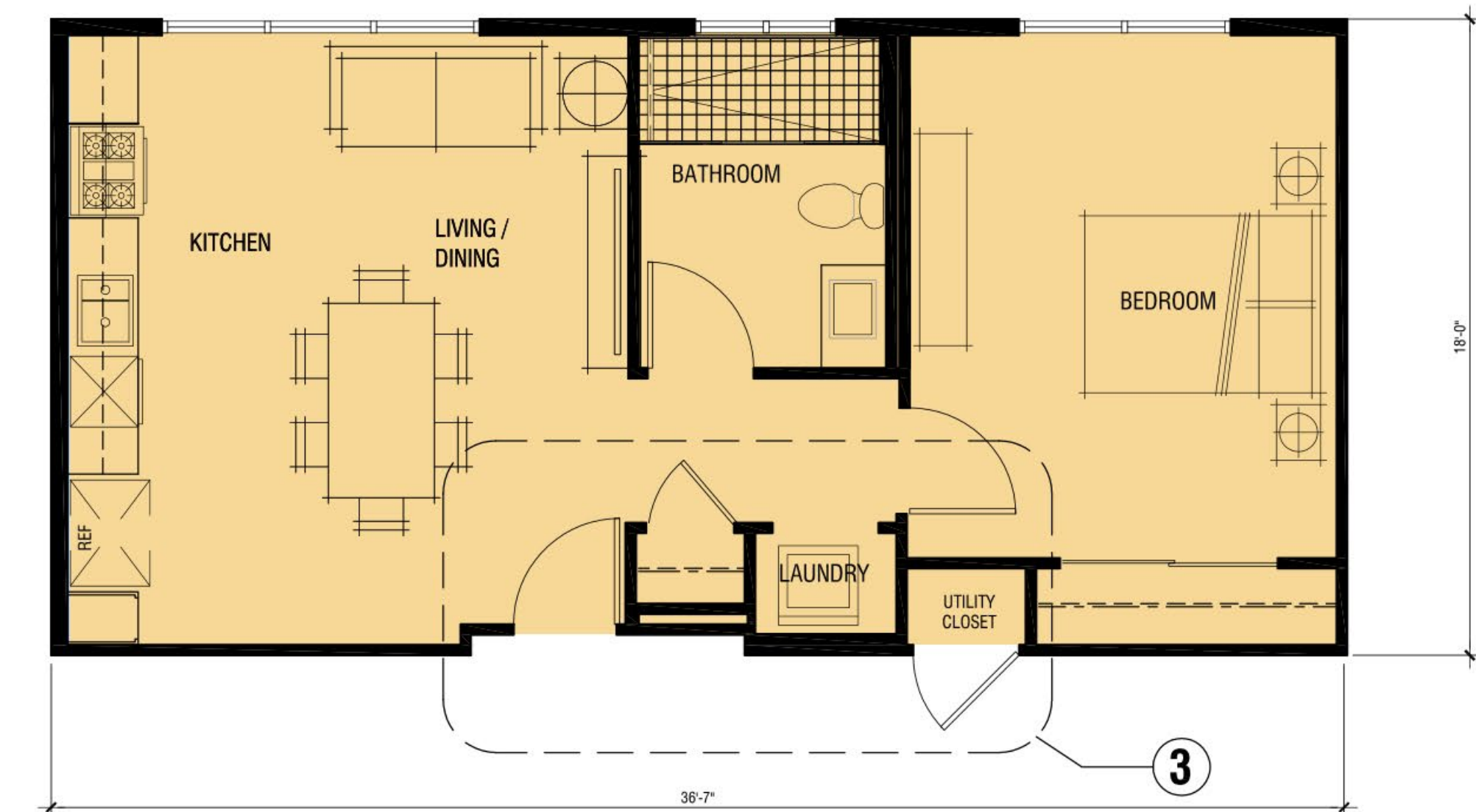


APPROVED UNIT A1

SCALE 1/4"=1'-0"
675 S.F.

NOTES - UNIT PLANS

- UNIT A1 - INTERIOR ENTRY MODIFIED AND UTILITY CLOSET ADDED TO CORRIDOR.

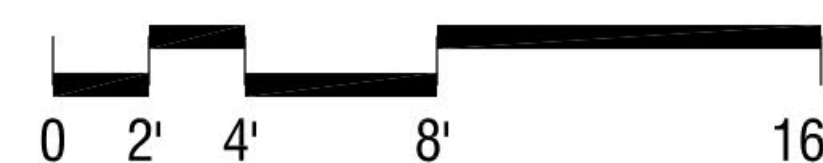


PROPOSED UNIT A1

SCALE 1/4"=1'-0"
660 S.F.

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ENLARGED UNIT PLANS **A4.0**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

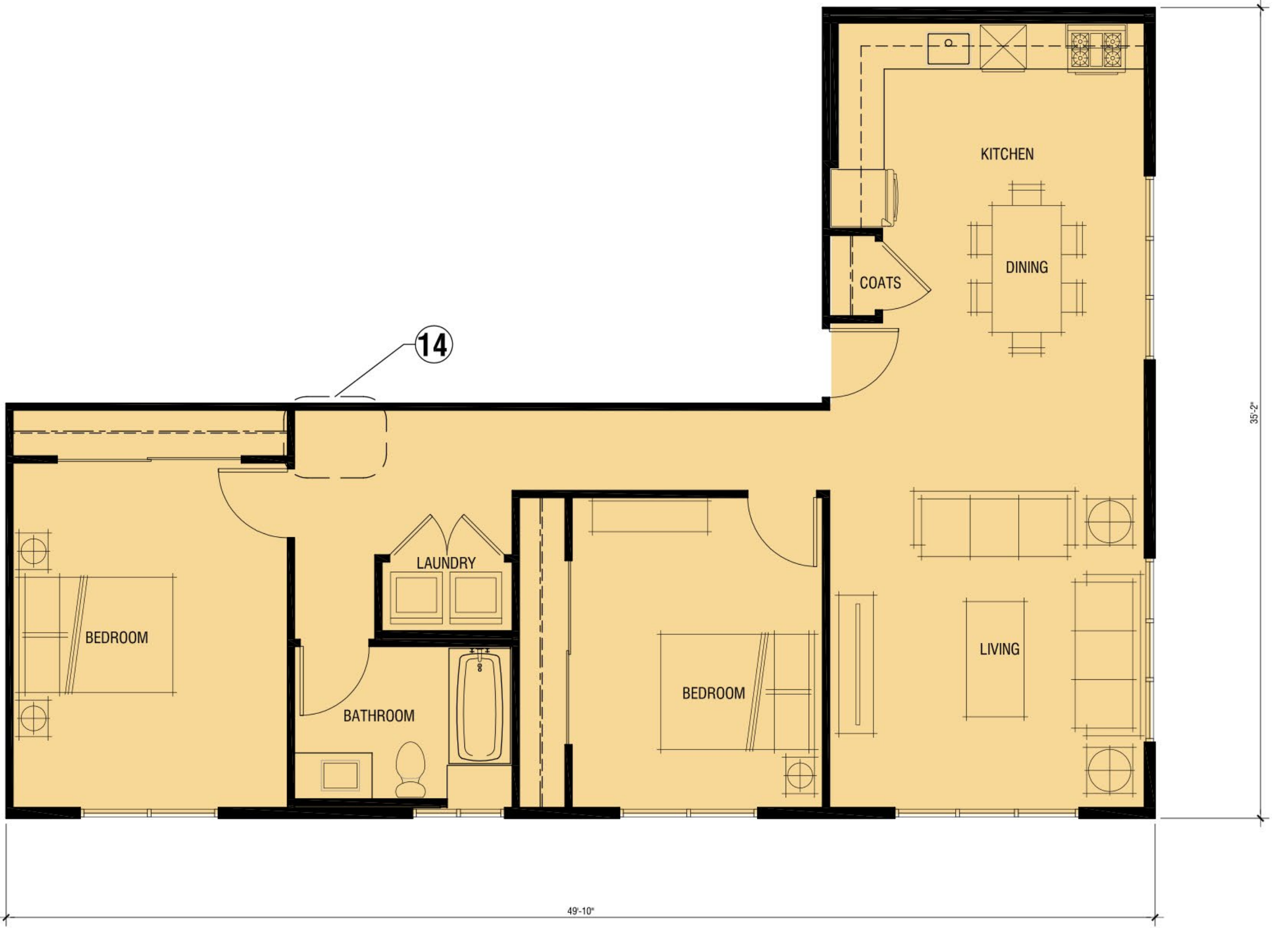
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NOTES - UNIT PLANS
14. UNIT B1 - IDF CLOSET REMOVED



APPROVED UNIT B1
SCALE 1/4"=1'-0"
1,150 S.F.



PROPOSED UNIT B1
SCALE 1/4"=1'-0"
1,115 S.F.



NOTES - UNIT PLANS

- 4. UNIT B2 - REDESIGNED UNIT CHANGES EXTERIOR WINDOW LOCATIONS. SEE ELEVATIONS FOR MORE INFORMATION.



APPROVED UNIT B2

SCALE 1/4" = 1'-0"
950 S.F.



PROPOSED UNIT B2

SCALE 1/4" = 1'-0"
995 S.F.

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ENLARGED UNIT PLANS **A4.2**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

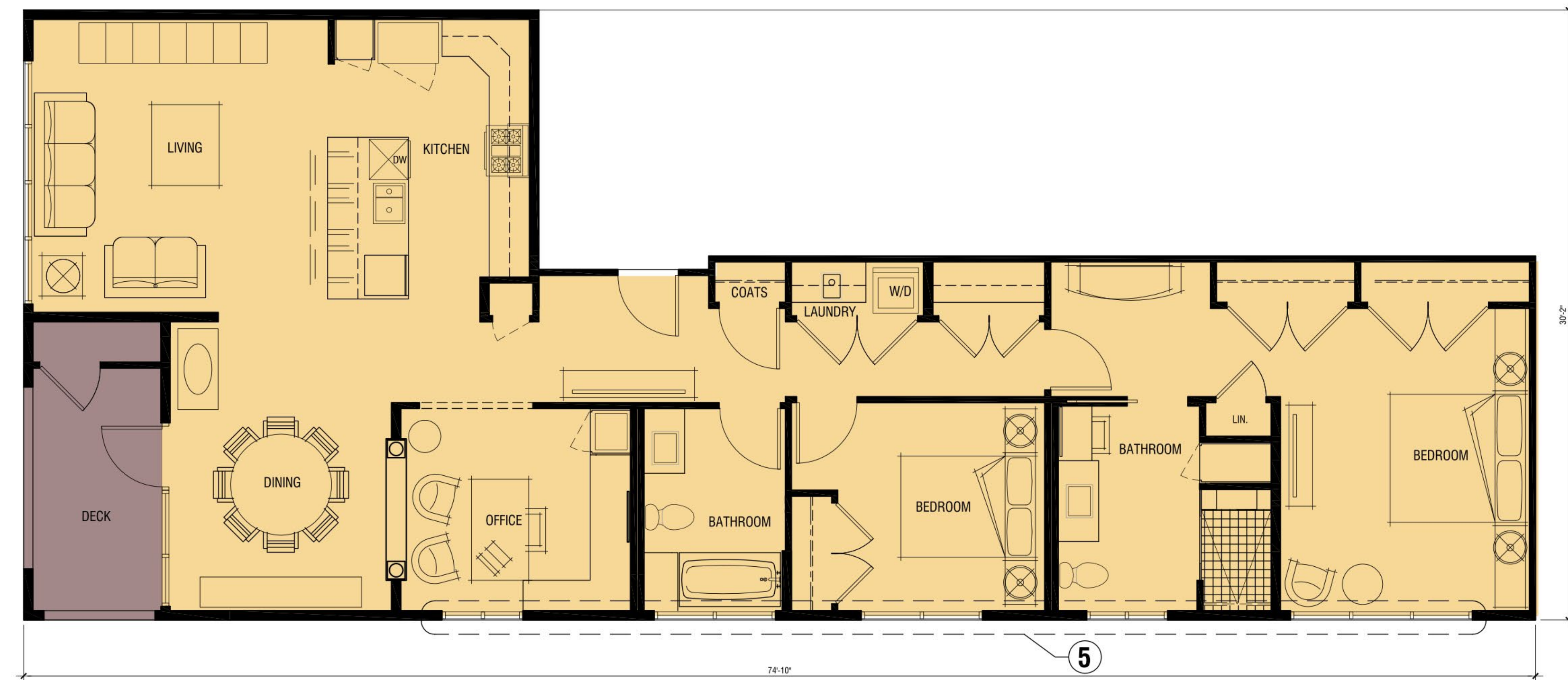
05-15-23





APPROVED UNIT C1

SCALE 1/4"=1'-0"
1,528 S.F.



PROPOSED UNIT C1

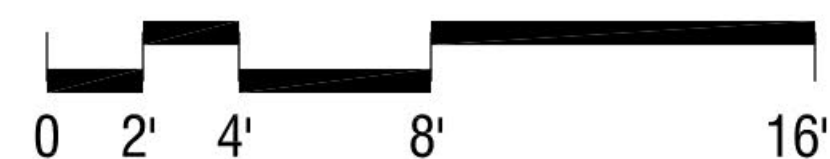
SCALE 1/4"=1'-0"
1,651 S.F.

NOTES - UNIT PLANS

5. UNIT C1 - REDESIGNED UNIT CHANGES EXTERIOR WINDOW LOCATIONS. SEE ELEVATIONS FOR MORE INFORMATION.

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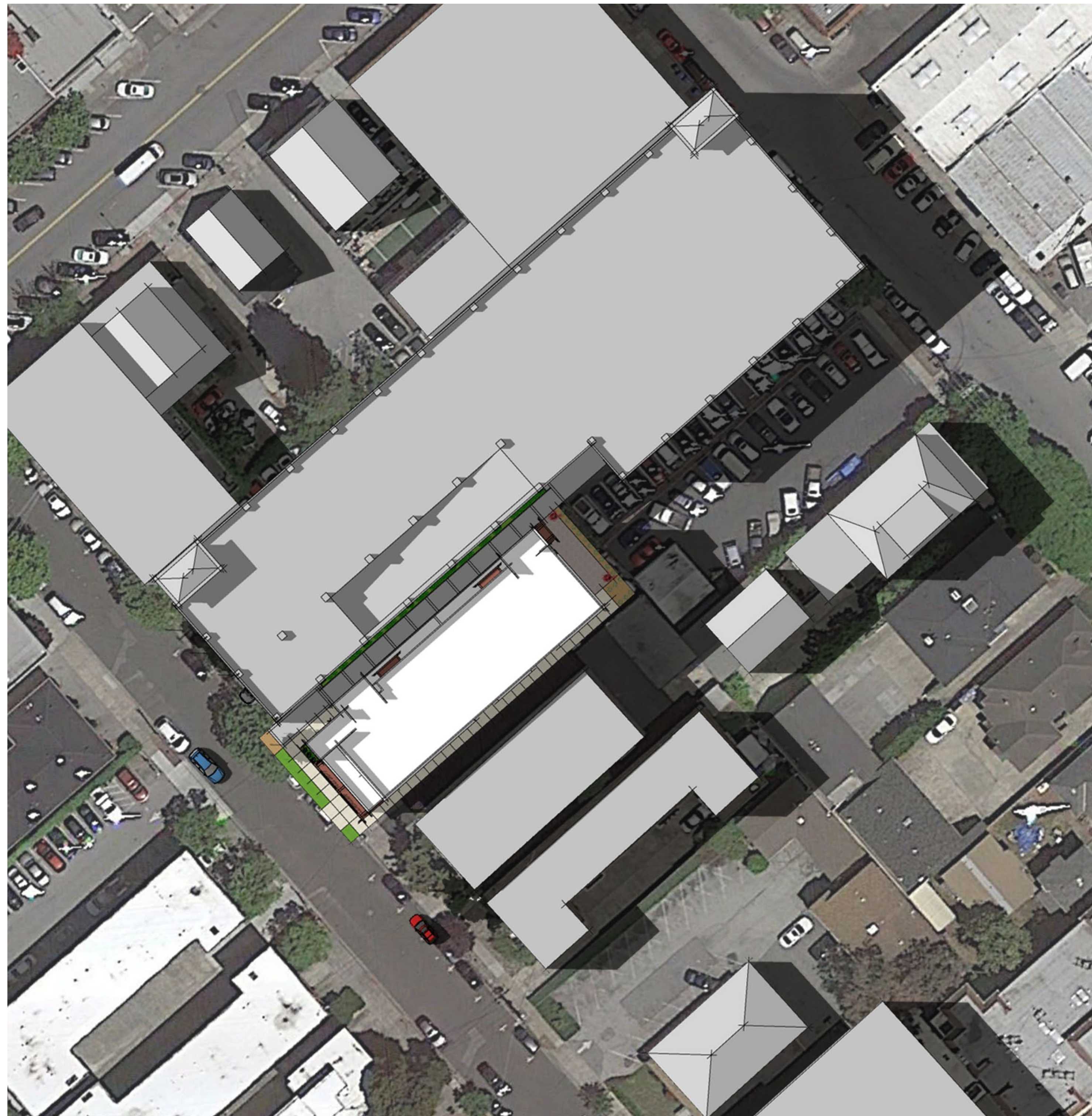
BURLINGAME, CALIFORNIA

ENLARGED UNIT PLANS **A4.3**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23

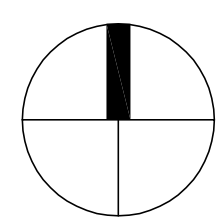
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APPROVED SHADOW STUDY A - June 21, 4:00 PM



PROPOSED SHADOW STUDY A - June 21, 4:00 PM



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SHADOW STUDY **A5.0**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23

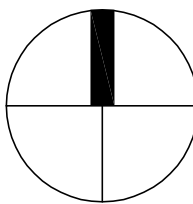
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APPROVED SHADOW STUDY B - Sept. 21, 4:00 PM



PROPOSED SHADOW STUDY B - Sept. 21, 4:00 PM



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SHADOW STUDY **A5.1**

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION

05-15-23

