

PROJECT TEAM

DEVELOPER:

MURPHY WOOD INC. 1110 BURLINGAME AVENUE, SUITE 211 BURLINGAME, CALIFORNIA 94010 (650) 733-2988 POC: LOUISA ZEE KAO

ARCHITECT:

3767 WORSHAM AVE., LONG BEACH, CA 90808-7030 (949) 250-0607

POC: RICK AIKEN PETER GABRICH ISAAC AIKEN

PROJECT SUMMARY

ADDRESS:

128 LORTON AVENUE, BURLINGAME, CALIFORNIA ASSESSOR'S PARCEL NUMBER:

029-231-210 **EXISTING ZONING IN THE GENERAL PLAN:**

R-4 DISTRICT, MULTI-FAMILY RESIDENTIAL CONDOMINIUM

CURRENT APPLICABLE CODES: 2022 CALIFORNIA BUILDING CODE

2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE

2022 CALIFORNIA PLUMBING CODE

2022 CALIFORNIA ENERGY CODE

2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN)

GROSS SITE AREA: MULTIFAMILY DWELLING UNITS: PARKING (CITY LIFT STACKED PARKING):

DENSITY: CONSTRUCTION TYPE: OCCUPANCY GROUPS: PARKING GARAGE SQUARE FOOTAGE:

LOT COVERAGE: BICYCLE STORAGE: .172 ACRES 19/DU

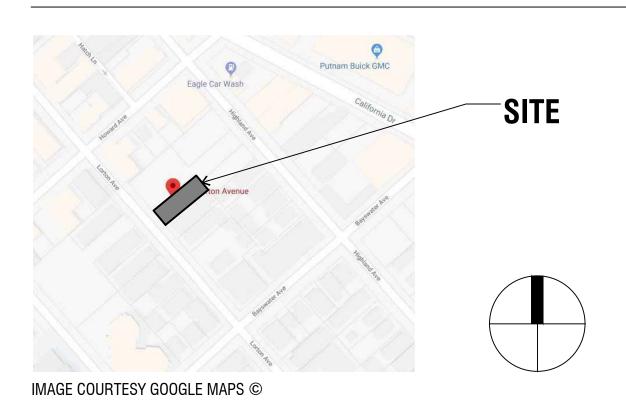
17 PARKING SPACES 110.4 DU.AC

TYPE IIIA RESIDENTIAL OVER TYPE 1A PARKING GARAGE R-2 RESIDENTIAL, S-2 PARKING GARAGE

5,904 GROSS SF, NATURALLY VENTILATED

BICYCLE STORAGE WILL BE WITHIN DWELLING UNITS

VICINITY MAP



ENTITLEMENT SUBMITTAL

128 LORTON AVENUE, BURLINGAME, CALIFORNIA

SHEET INDEX

A0.0 A0.1 A0.2 A0.3 A0.4 A0.5 A0.6 C0.7 L0.8	COVER SHEET NEIGHBORHOOD CONTEXT NEIGHBORHOOD CONTEXT RENDERINGS RENDERINGS RENDERINGS ARCHITECTURAL SITE PLAN CIVIL SITE PLAN, PRELIMINARY GRADING AND UTILITY PLAN LANDSCAPE PLANTING PLAN
A1.0	GARAGE FLOOR PLAN
A1.1	ENTITLED/PROPOSED PODIUM LEVEL PLAN
A1.2	ENTITLED/PROPOSED SECOND FLOOR PLAN
A1.3	ENTITLED/PROPOSED THIRD FLOOR PLAN
A1.4	ENTITLED/PROPOSED FOURTH FLOOR PLAN
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A4.2	ENTITLED/PROPOSED ENLARGED UNIT FLOOR PLANS
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A5.0	SHADOW STUDY
A5.1	SHADOW STUDY

BUILDING DEPARTMENT NOTES:

WEEKDAYS: 8:00AM TO 7:00PM SATURDAYS: 9:00AM TO 6:00PM

SUNDAYS AND HOLIDAYS: NO WORK ALLOWED

SEE CITY OF BURLINGAME MUNICIPAL CODE SECTION 18.07.110 FOR DETAILS.

CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT OF WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00AM AND 5:00PM.

ANY HIDDEN CONDITIONS THAT REQUIRE WORK TO BE PERFORMED BEYOND THE SCOPE OF THE BUILDING PERMIT ISSUED FOR THESE PLANS MAY REQUIRE FURTHER CITY APPROVALS INCLUDING REVIEW BY THE PLANNING COMMISSION.

ACCESSIBILITY REGULATIONS: CALIFORNIA BUILDING CODE CHAPTERS 11A AND 11B

REVISION LOG

NUMBER	DESCRIPTION	DATE
1	1ST CITY PLANNING SUBMITTAL	11/16/18
2	2ND CITY PLANNING SUBMITTAL	3/15/19
3	3RD CITY PLANNING SUBMITTAL	7/12/19
4	4TH CITY PLANNING SUBMITTAL	12/10/19
5	5TH CITY PLANNING SUBMITTAL	6/03/20
6	CITY PLANNING RESUBMITTAL-HEIGHT CHANGE	3/03/23
7	CITY PLANNING RESUBMITTAL-HEIGHT AMENDMENT	5/15/23

RECEIVED

MAY 23 2023

CITY OF BURLINGAME **CDD-PLANNING DIVISION**

MURPHY WOOD INC.





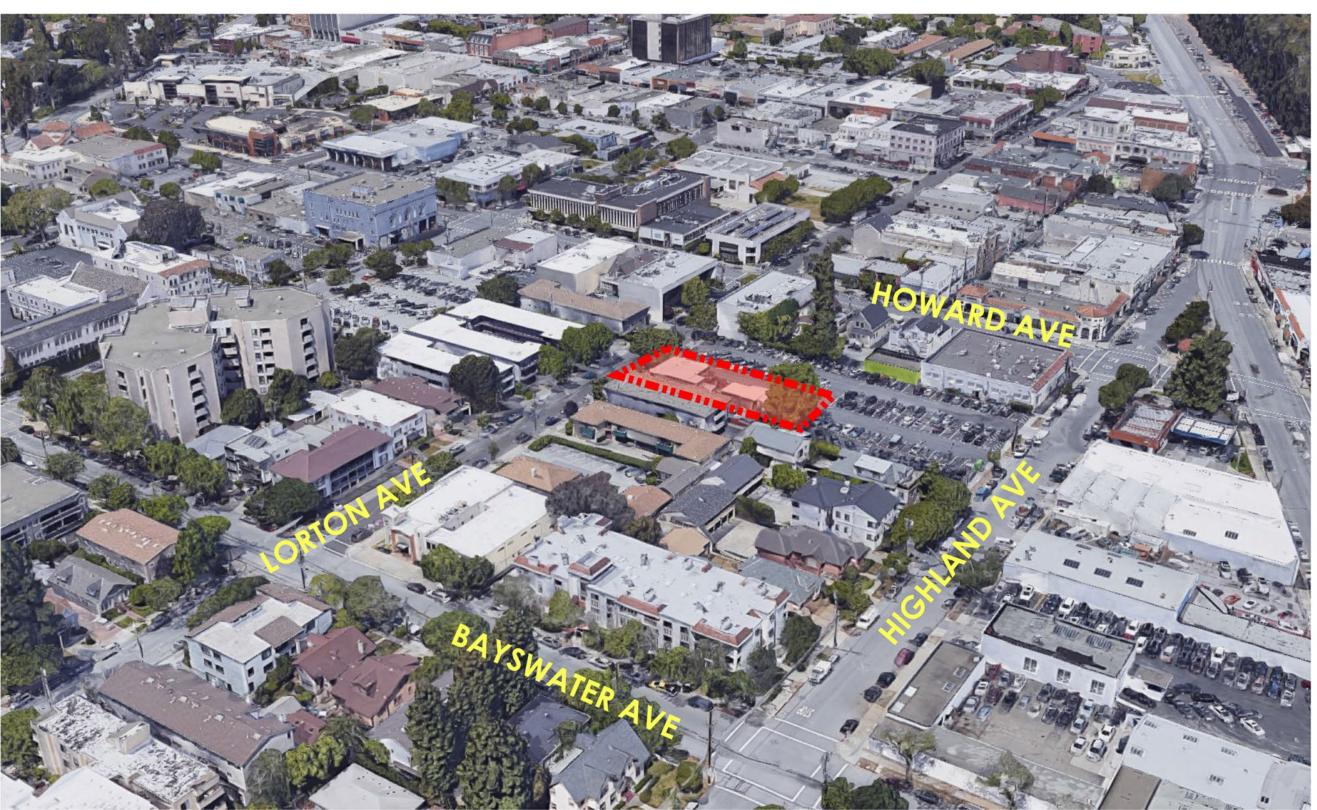
AERIAL VIEW LOOKING NORTH



AERIAL VIEW LOOKING SOUTH



AERIAL VIEW LOOKING EAST



AERIAL VIEW LOOKING WEST







LORTON AVE STREET LEVEL VIEW APPROVED



LORTON AVE STREET LEVEL VIEW PROPOSED



APPROVED AERIAL VIEW FROM NORTHEAST



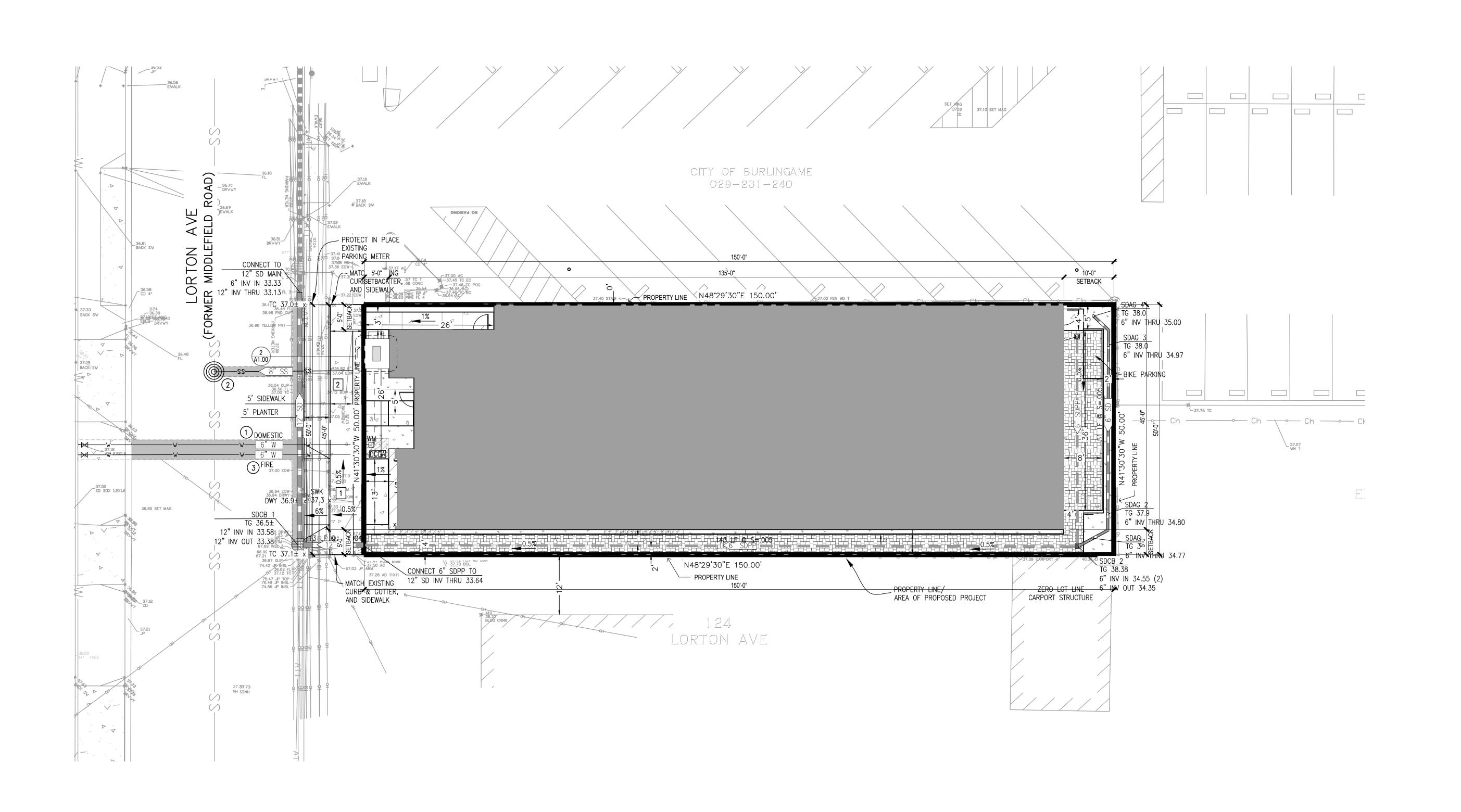
PROPOSED AERIAL VIEW FROM NORTHEAST

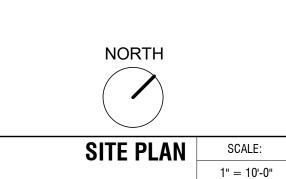


APPROVED AERIAL VIEW FROM SOUTHEAST



PROPOSED AERIAL VIEW FROM SOUTHEAST





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ARCHITECTS . PLANNERS . DESIGNERS

ORANGE COUNTY . LOS ANGELES . BAY AREA

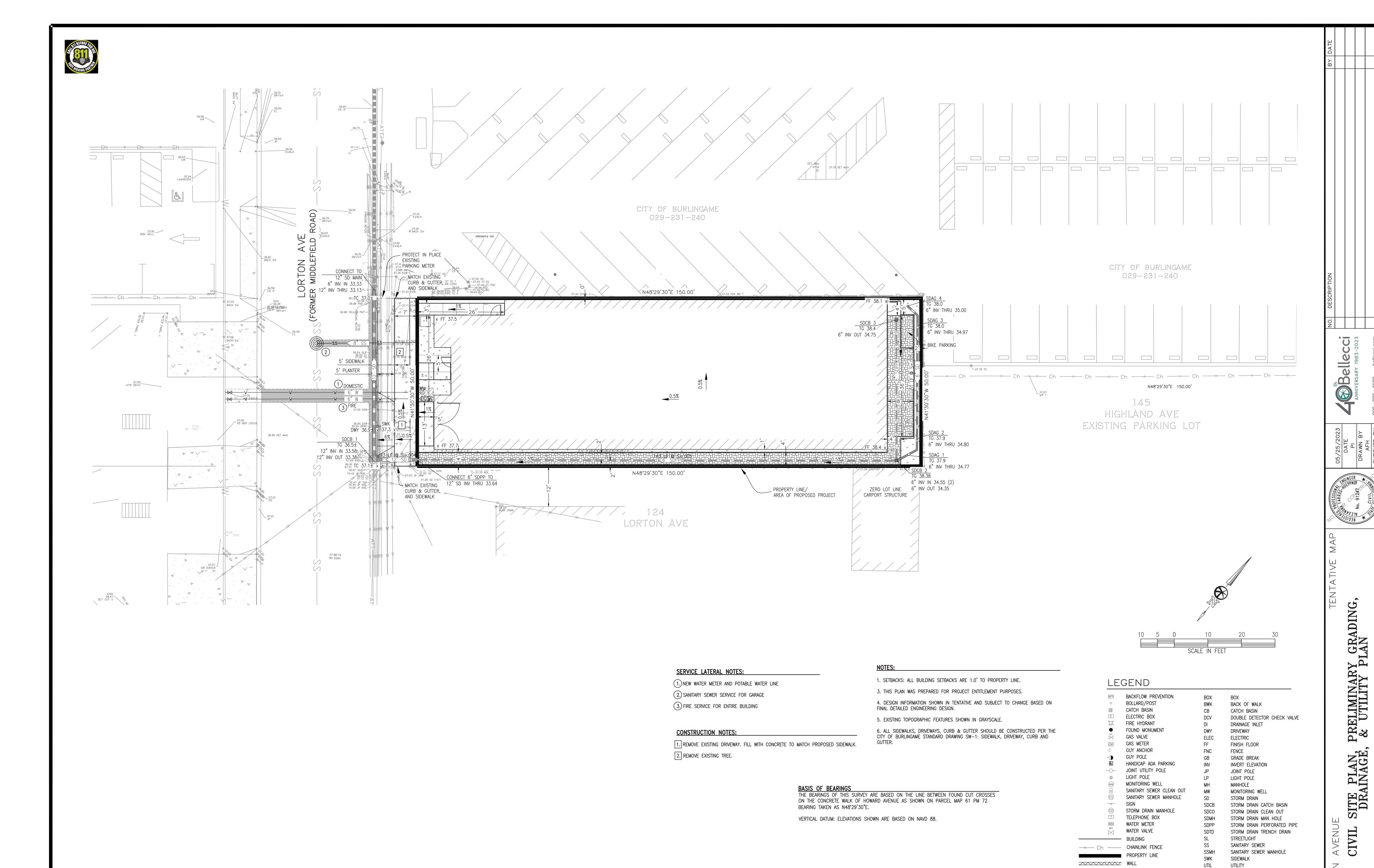
CLIENT APPROVAL

ARCHITECTURAL SITE PLAN

DESCRIPTION

		1
SHEET SCALE:	As indicated	
PROJECT MANAGER:	ISAAC AIKEN	
DESIGNER:	RICK AIKEN	
DRAWN BY:	ISAAC AIKEN	
REVIEWED BY:	Reviewed By	4
1ST BLDG. DEPT. SUBMITTAL:	09-09-09	4
ISSUED FOR CONSTRUCTION:	Issued For Construction Date	C
JOB NUMBER:	2019306	4
DATE:	SHEET:	
05-10-23	A1.00	

TRANSFORMER - FRONT VIEW (FACING STREET) TRANSFORMER	TRANSFORMER
	TRANSFORMER
	TRANSFORMER
TRANSFORMER ———————————————————————————————————	2 1%
7 0 + 1 1 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	7, .68 CONC 36.64 5.59 PIPE PD 4" 6.60 PIPE FL 4



PRELIMINARY

3RD SUBMITTAL - MAY 25, 2023

ENTRE PARTIES IN THE PARTIES OF THE

WATER VALVE

WATER METER

WETLAND MODULAR SYSTEM

- ATT LINE

WATERLINE

PROPOSED PERVIOUS PAVERS

PROPOSED STORM DRAIN LINE

PROPOSED STORM DRAIN PERFORATED PIPE

PROPOSED CONCRETE
PROPOSED ASPHALT

SAWCUT LINE

SANITARY SEWER LINE

STORM DRAIN LINE

sнеет: C0.07

PLANTING NOTES:

- A. TREES PLANTED WITHIN TEN (5'-0") FEET OF A STREET, SIDEWALK, PAVED TRAIL, OR WALKWAY SHALL BE A DEEP-ROOTED SPECIES OR SHALL BE SEPARATED FROM HARDSCAPES BY A ROOT BARRIER TO PREVENT PHYSICAL DAMAGE TO PUBLIC IMPROVEMENTS.
- B. SOIL PREPARATION AND AMENDING:
- 1) AFTER ROUGH GRADING OPERATIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOILS REPORT THAT PROVIDES AN ANALYSIS OF THE EXISTING SOIL THAT STATES WHAT SOIL AMENDMENTS ARE REQUIRED FOR OPTIMUM PLANTING GROWTH. THE CONTRACTOR SHALL INCORPORATE THE RECOMMENDED QUANTITIES BY THOROUGHLY CULTIVATING ALL PLANTING AREAS TO A DEPTH OF EIGHT (8) INCHES. ROUGH FINISH GRADE ALL AREAS.
- 2) PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT
- 3) BROADCAST THE FOLLOWING SOIL AMENDMENTS. QUANTITIES GIVEN ARE PER 1,000 SQUARE FEET OF AREA.
 - NITROGEN STABILIZED AND IRON FORTIFIED COMPOST:PER SOIL ANALYSIS RECOMMENDATIONS, OR 4 CY MINIMUM FOR BID PURPOSES
- PELLETIZED FERTILIZER (21-0-0): 10LBS., OR AS PER SOIL
 ANALYSIS RECOMMENDATIONS
- SOIL SULFUR: PER SOIL ANALYSIS RECOMMENDATIONS
 GYPSUM: 100 LBS
- 4) CULTIVATE AND THOROUGHLY INCORPORATE THE AMENDMENTS INTO THE TOP EIGHT (8) INCHES OF SOIL.
- 5) DE-ROCK AREA TO BE PLANTED BY USING A MECHANICAL ROCK PICKER. ALL ROCKS LARGER THAN I INCH IN DIAMETER ARE TO BE REMOVED.
- C. FINISH GRADING SHALL BE DONE BY THE LANDSCAPE CONTRACTOR FOLLOWING THE CIVIL ENGINEER RIM ELEVATIONS FOR DRAINS, REFER TO THE CIVIL ENGINEERING PLANS. ALL FINISH GRADING SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND TOWARDS DRAIN LOCATIONS AS INDICATED ON THE CIVIL PLANS. IF ANY DISCREPANCIES ARE PRESENT, CONTACT THE PROJECT SUPERINTENDENT, OR LANDSCAPE ARCHITECT.
- D. INSTALL WEED BARRIER FILTER FABRIC OVER DRIP IRRIGATION COMPONENTS, MANUFACTURED OF POLYPROPYLENE, 28 MIL THICKNESS, AND 2.6 OUNCES PER SQUARE YARD. 'DEWITT PRO-5', OR EQUAL. SECURE FABRIC SEGMENTS, TO SOIL, WITH 6"XI"X6" STEEL 'U' SHAPE PINS. OVERLAP ADJACENT FABRIC SEGMENTS A MINIMUM OF SIX (6) INCHES AND SECURE WITH PINS AT TWENTY FOUR (24) INCHES ON CENTER.
- E. INSTALL A MINIMUM THREE INCH (3") DEPTH FIR BARK MULCH OVER THE FILTER FABRIC. A (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED ON ALL SHRUB AND GROUND COVER PLANTING AREAS. BARK MULCH SHALL BE WOOD RESIDUAL DERIVED AND MANUFACTURED FROM PINE, WHITE AND/OR RED FIR TREE BARK. THE MATERIAL SHALL BE EQUAL TO THAT REFERRED TO AS 'WALK ON BARK' IN THE TRADE.
 - NOTE: ORGANIC MULCH MATERIALS MADE FROM RECYCLED OR POST-CONSUMER SHALL TAKE PRECEDENCE OVER INORGANIC MATERIALS OR VIRGIN FOREST PRODUCTS UNLESS THE RECYCLED POST-CONSUMER ORGANIC PRODUCTS ARE NOT LOCALLY AVAILABLE. ORGANIC MULCHES ARE NOT REQUIRED WHERE PROHIBITED BY LOCAL FUEL MODIFICATION PLAN GUIDELINES OR OTHER APPLICABLE LOCAL ORDINANCES
- F. A CERTIFICATE OF COMPLETION SHALL BE OBTAINED FROM THE CITY AND THE PROJECT APPLICANT SHALL FILL OUT THE CERTIFICATE TO THE SATISFACTION OF THE CITY UPON COMPLETION OF THE LANDSCAPE PROJECT.
- F. THE INSTALLING LANDSCAPE CONTRACTOR SHALL MAINTAIN THE NEW LANDSCAPE AREAS FOR A (90) NINETY DAY PERIOD.

FRONT SETBACK LANDSCAPING

(CODE SECTION 26.30.070 (E) (1))

50% OF THE FRONT SETBACK OF THE BUILDING SHALL BE SOFT

LANDSCAPING.

FRONT SETBACK AREA: 250 SF (5' \times 50')

50% OF FRONT SETBACK AREA: 125 SF (0.50 imes 250 SF)

THE LANDSCAPING AREA PROVIDED WITHIN THE FRONT SETBACK AREA MEASURES 121.3 SF (48.5% OF FRONT SETBACK AREA). AN ADDITIONAL 45 SF IS WITHIN THE ALCOVE FOR A TOTAL OF 167.2 SF OF LANDSCAPE AREA

PLAN NOTES: A. EXISTING STREET TREE TO REMAIN (MAGNOLIA GRANDIFLORA)

- B. NEW SIDE WALK

 C. DECORATIVE CONCRETE ENTRANCE TO

 BUILDING
- D. CONCRETE DRIVE WAY
- E. 36" SQUARE X 42" HIGH DECORATIVE
 PLANTER
- F. STORM WATER MANAGEMENT AREA,
 REFER TO THE PLANT LEGEND
- G. FIRE ACCESS CONCRETE WALK WAY
- H. BISTRO TABLE AND CHAIRS
- I. EVERGREEN VINES ON FENCE
- J. 18" HIGH CMU BENCH.
- K. PERVIOUS PAVERS FOR SELF-RETAINING
- L. "DOUBLEUP SINGLE SIDED RACK"

STORM WATER MANAGEMENT

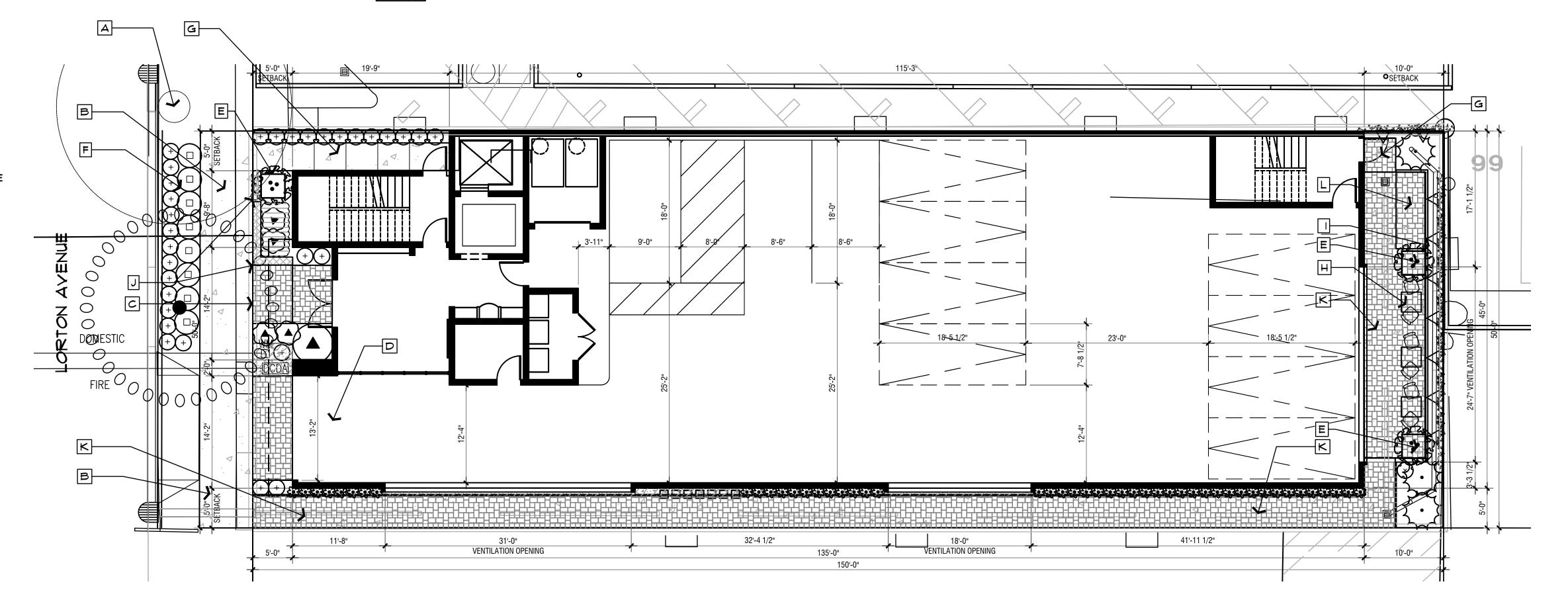
MODEL: 543-4010VERTICAL BIKE STORAGE: 4

RACK / 8 BIKE (93" SPAN, APPROX 108"

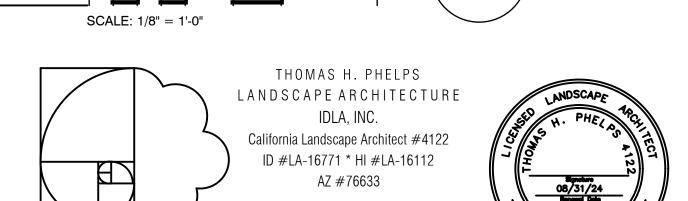
W/BIKES)

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		<u> QTY</u>
³	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	DWARF SOUTHERN MAGNOLIA	24"			1
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		QTY
6	ACER PALMATUM 'DISSECTUM ATROPURPUREUM EVER RED'	EVER RED JAPANESE LACELEAF MAPLE	24"	BOX		4
	AZALEA SATSUKI HYBRID 'GUMPO WHITE'	SATSUKI AZALEA	1 GAL.			5
	DAPHNE ODORA 'MARGINATA'	WINTER DAPHNE	5 GAL.			1
₹·}	PODOCARPUS GRACILIOR	FERN PINE	15 GAL.			3
PERENNIALS	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>	CONTAINER		QTY
	ACHILLEA MILLEFOLIUM	COMMON YARROW	1 GAL.			5
ۥ3	DIANELLA REVOLUTA 'DTN03'	BABY BLISS™ FLAX LILY	1 GAL.			48
+	FESTUCA OVINA GLAUCA 'SISKIYOU BLUE'	BLUE FESCUE	1 GAL.			13
(+)	HEUCHERA SANGUINEA	CORAL BELLS	1 GAL.			13
<u>VINES</u>	BOTANICAL NAME	COMMON NAME	<u>SIZE</u>	CONTAINER		QTY
·Vinder	CLYTOSTOMA CALLISTEGIOIDES	VIOLET TRUMPET VINE	5 GAL.			9
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	<u>SPACING</u>	<u> QTY</u>
	CAMPANULA POSCHARSKYANA	SIBERIAN BELLFLOWER	4"		12" O.C.	39 SF
	LAMIUM MACULATUM 'BEACON SILVER'	BEACON SILVER LAMIUM	4"		12" O.C.	4 SF
MATERIALS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	<u>SPACING</u>	QTY
	3/4 CRUSHED ROCK SONOMA GOLD OR EQUAL	2`` DEPTH OVER LANDSCAPE FABRIC	2" DEPTH			125 SF
STORM WATER MANAGEMENT PLANTINGS	BOTANICAL NAME	COMMON NAME	<u> SIZE</u>	CONTAINER	<u>SPACING</u>	<u>aty</u>
	CAREX BARBERAE	SANTA BARBARA SEDGE	4"		12" O.C.	15 SF



PLANTING PLAN



P.O.BOX 170129 Boise, Idaho 83717

thp@idlainc.net (208) 906-1300 ARCHITECTS . PLANNERS . DESIGNERS

ORANGE COUNTY . LOS ANGELES . BAY AREA

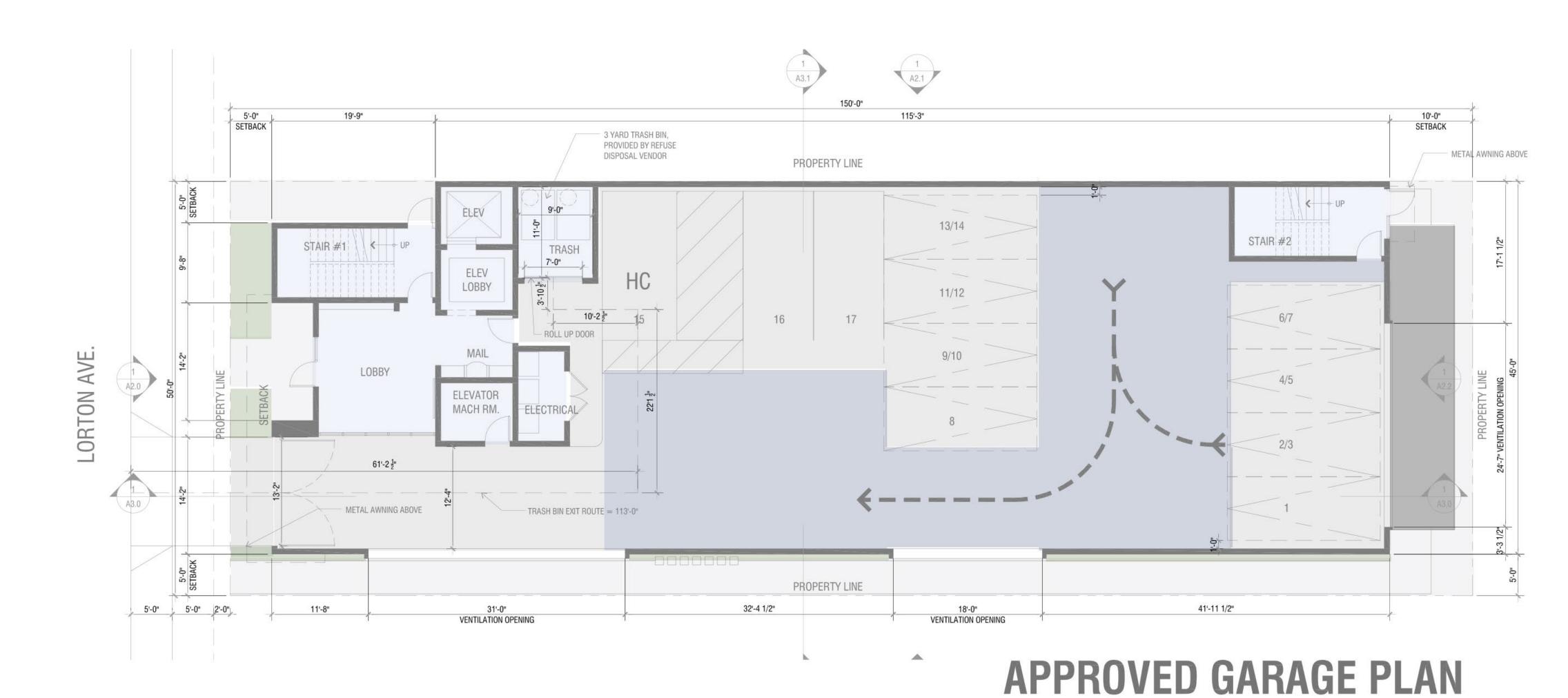
CLIENT APPROVA	
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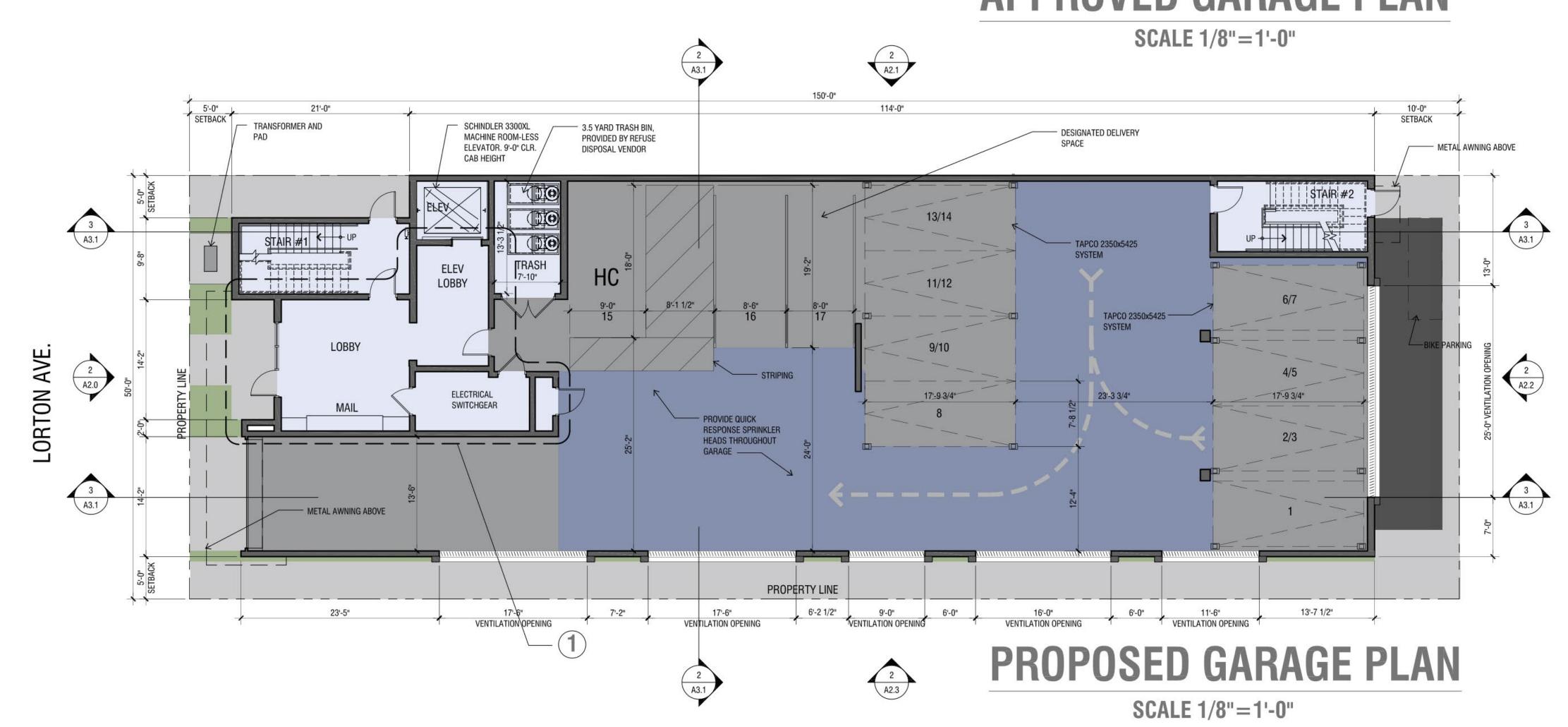
DO	NOT	SCALE	PLANS
	REV	ISIONS	

SHEET SCALE:	
PROJECT MANAGER:	
DESIGNER:	
DRAWN BY:	
REVIEWED BY:	
1ST BLDG. DEPT. SUBMITTAL:	
ISSUED FOR CONSTRUCTION:	
JOB NUMBER:	

LO.08



NEW LOBBY LAYOUT IMPROVES CIRCULATION



MURPHY WOOD INC.

128 LORTON AVENUE

BUILDING PLAN A1.0



- 2. UNIT A1 (105) HAS BEEN FLIPPED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST **ELEVATION**
- UNIT A1 INTERIOR ENTRY MODIFIED SEE ENLARGED PLAN
- UNIT B2 HAS BEEN REDESIGNED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION.

MURPHY WOOD INC.

1110 BURLINGAME AVE. SUITE 211

BURLINGAME, CALIFORNIA 94010

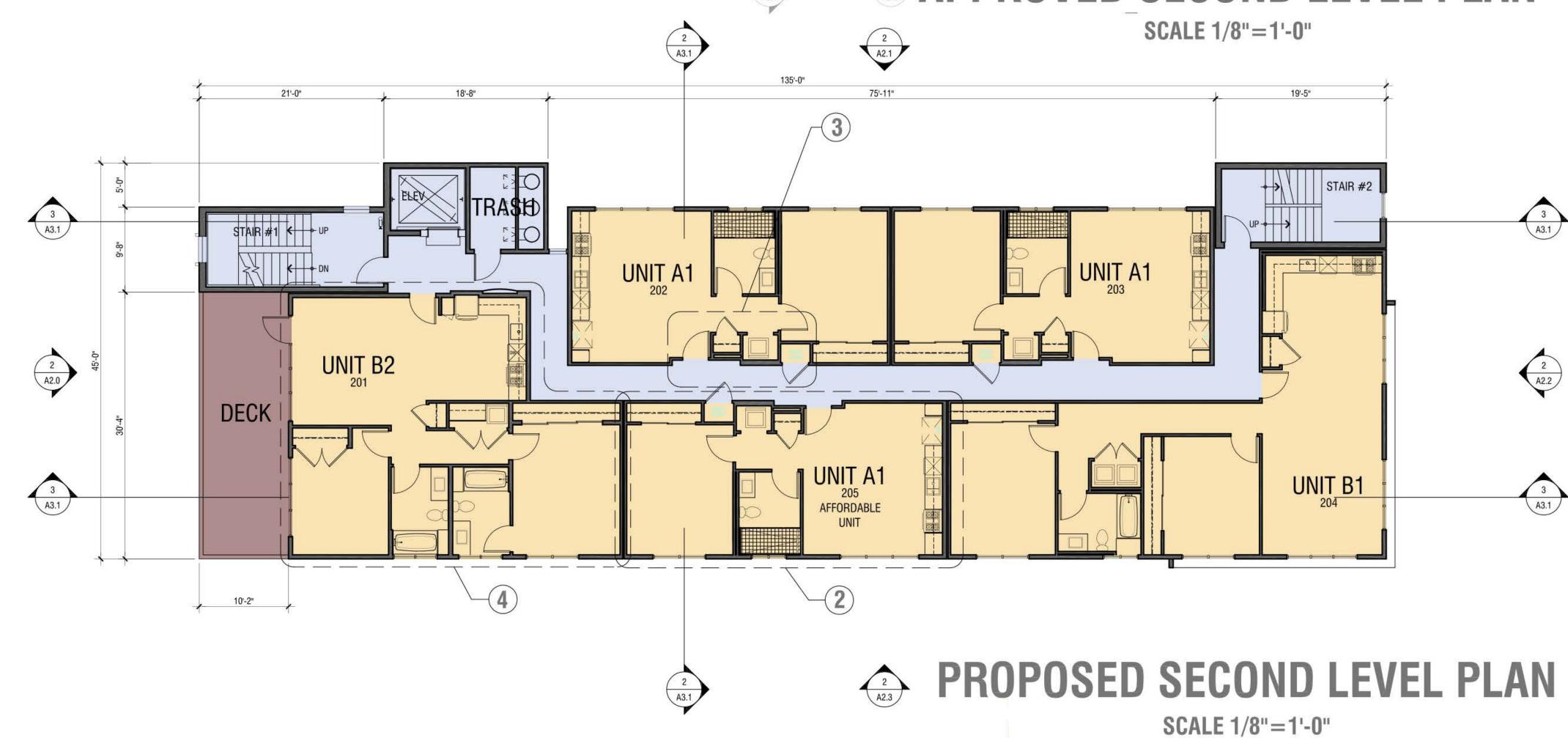
128 LORTON AVENUE

BUILDING PLAN A1.1





- 2. UNIT A1 (205) HAS BEEN FLIPPED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST **ELEVATION**
- UNIT A1 INTERIOR ENTRY MODIFIED SEE ENLARGED PLAN
- UNIT B2 HAS BEEN REDESIGNED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION.



MURPHY WOOD INC.

1110 BURLINGAME AVE. SUITE 211

BURLINGAME, CALIFORNIA 94010

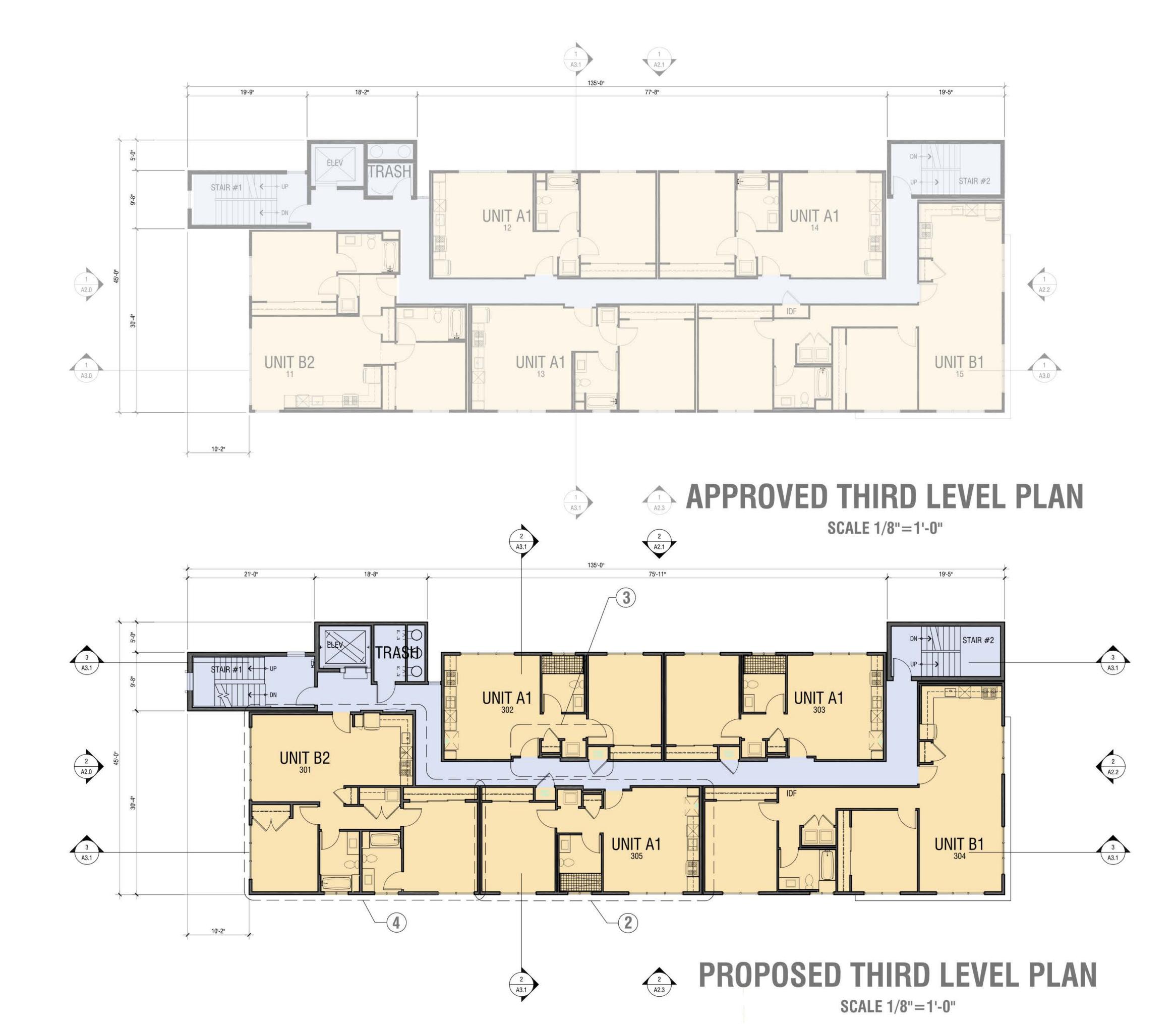
128 LORTON AVENUE

BUILDING PLAN A1.2

05-15-23

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION





- 2. UNIT A1 (305) HAS BEEN FLIPPED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST **ELEVATION**
- UNIT A1 INTERIOR ENTRY MODIFIED SEE ENLARGED PLAN
- UNIT B2 HAS BEEN REDESIGNED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST ELEVATION.



1110 BURLINGAME AVE. SUITE 211

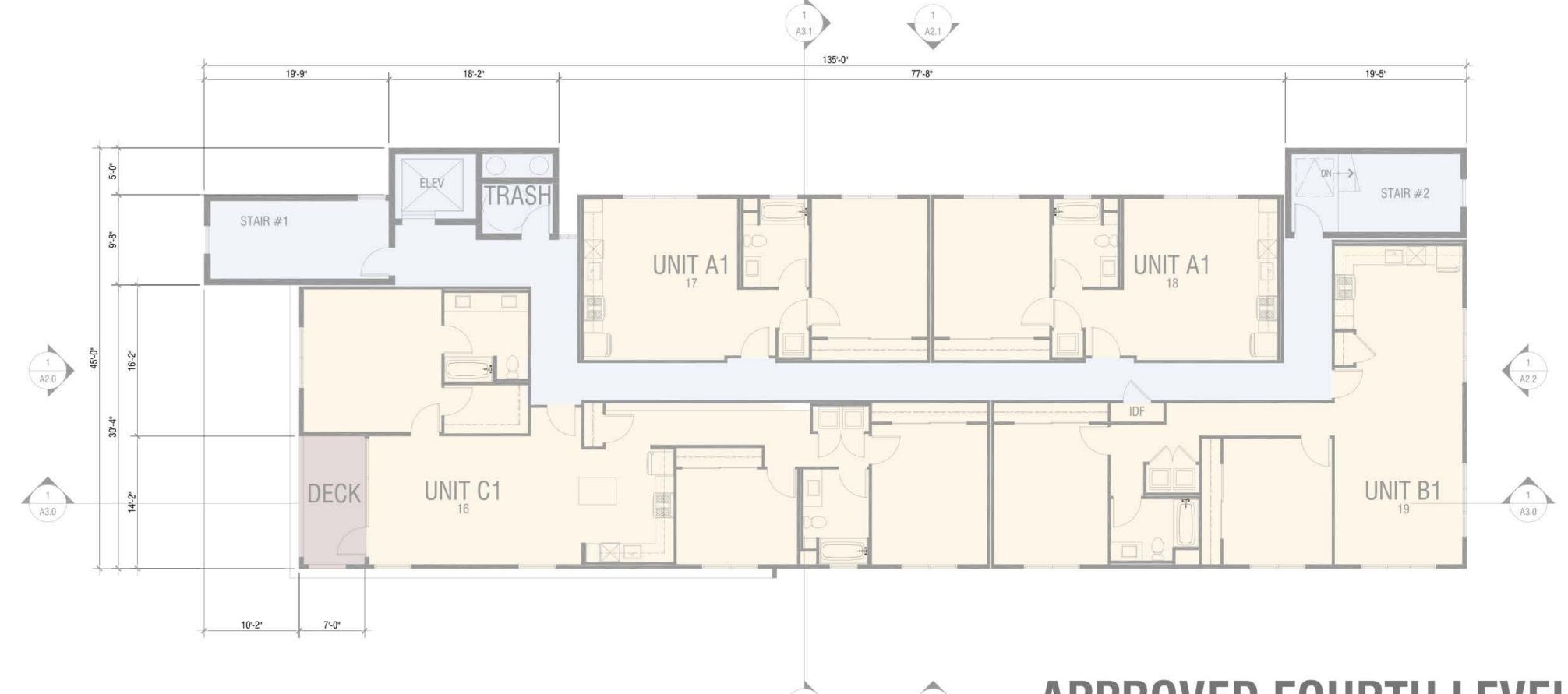
BURLINGAME, CALIFORNIA 94010

128 LORTON AVENUE

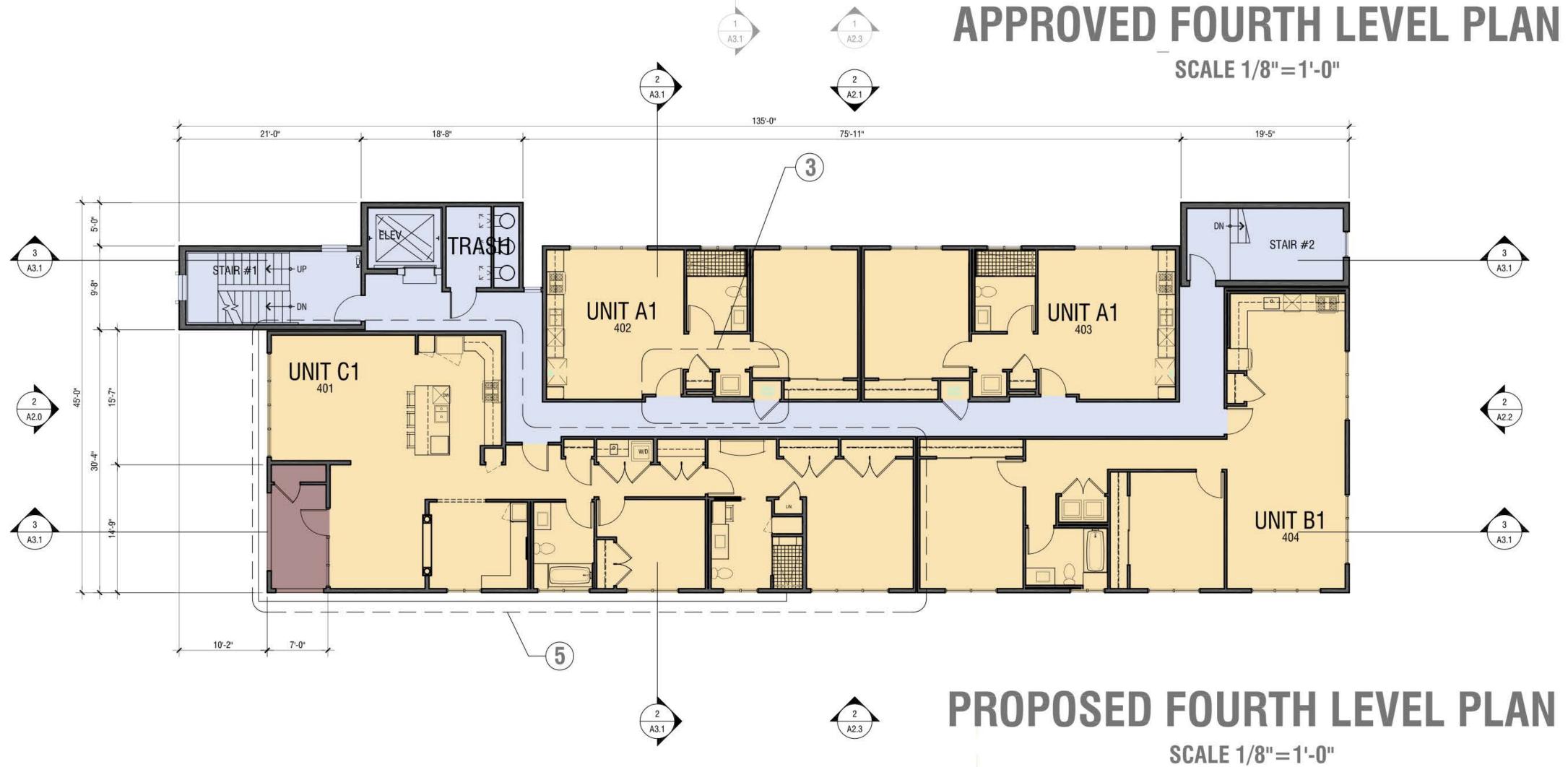
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BUILDING PLAN A1.3





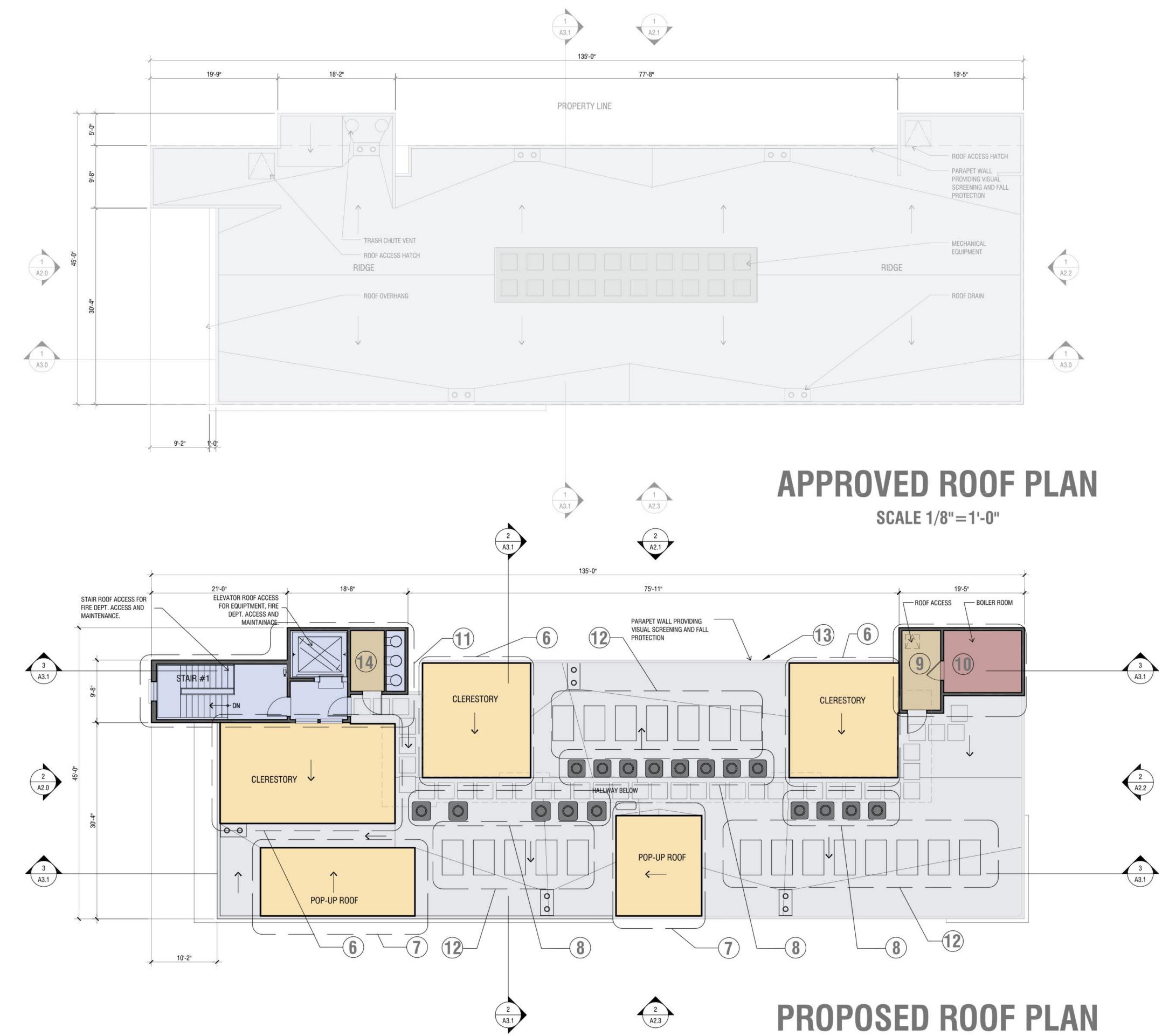
- UNIT A1 INTERIOR ENTRY MODIFIED SEE ENLARGED
- UNIT C2 HAS BEEN REDESIGNED CHANGING THE EXTERIOR WINDOW LOCATIONS SEE SOUTH EAST **ELEVATION**



MURPHY WOOD INC.

128 LORTON AVENUE

BUILDING PLAN A1.4



NOTES - ROOF PLAN

- CLEAR STORY POP-UP ROOFS AT LIVING AREAS WITH 2'-0" HIGH WINDOWS FOR CLERESTORIES
- POP-UP ROOF TO ADD CEILING HEIGHT
- A/C CONDENSER LOCATIONS
- ROOF ACCESS
- **BOILER ROOM**
- 11. STAIR AND ELEVATOR ACCESS TO THE ROOF FOR MAINTENANCE
- 12. POTENTIAL SOLAR PANEL LOCATION FOR (HOUSE PANEL POWER)
- 13. INCREASED HEIGHT OF PARAPETS TO HIDE MECH./ EQUIPMENT. SEE SECTIONS FOR MORE DETAIL
- 14. ELEVATOR MACHINE ROOM

SCALE 1/8"=1'-0"



MATERIALS LEGEND

- EXTERIOR CEMENT PLASTER WITH DECORATIVE REVEALS, 20/30 SAND FINISH
- PAINTED METAL AWNING
- MANUFACTURED STONE VENEER
- RECLAIMED WOOD SIDING
- PLASTER CORNICE WITH SMOOTH FINISH
- PLASTER TRIM WITH 20/30 SAND FINISH
- **GLASS GUARDRAIL**
- FIBERGLASS WINDOW WITH INTERIOR WOOD JAMB EXTENSIONS
- GLASS PANEL ENTRY DOOR
- LOUVERED GARAGE VENTILATION OPENING
- METAL GARAGE GATE
- DECORATIVE LIGHT FIXTURE
- TRANSFORMER

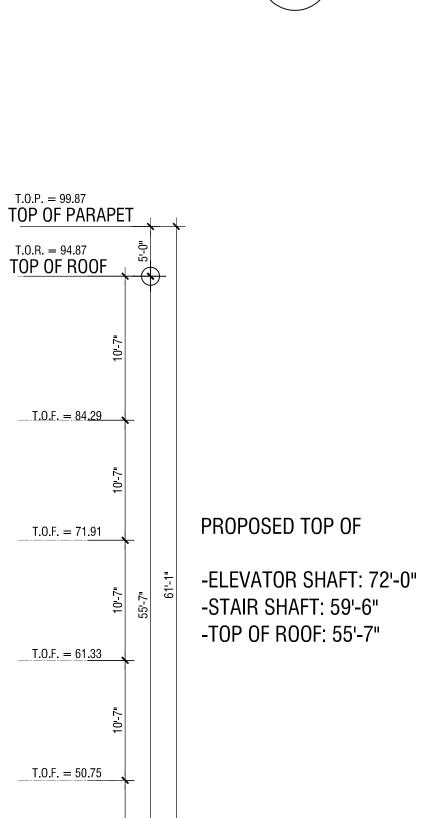


LORTON AVE ELEVATION - APPROVED SOUTHWEST ELEVATION (1)

TOP OF ELEVATOR T.O.E. = 111.29

TOP OF STAIR T.O.ST. = 103.87

TOP OF ROOF T.O.R. = 94.87



T.0.R. = 94.87

PROPERTY

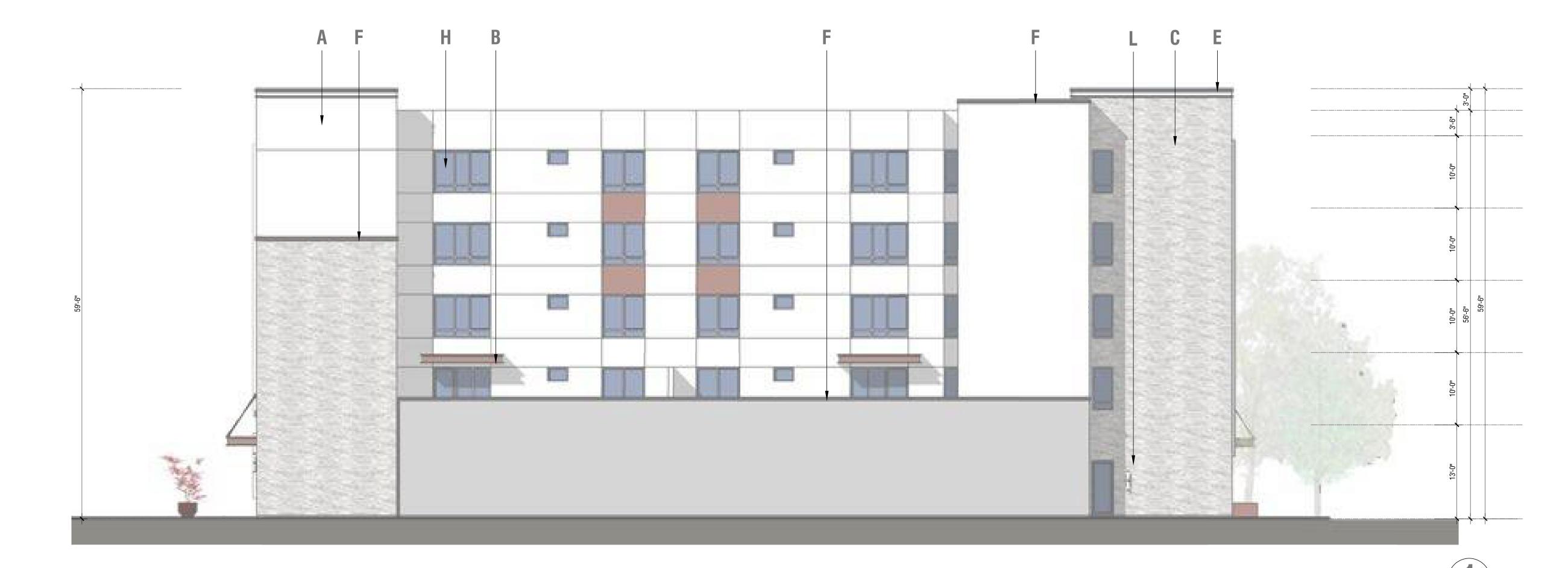
T.0.SL. = 37.6 TOP OF SLAB TOP OF CURB T.0.C. = 37.0

LORTON AVE ELEVATION - PROPOSED SOUTHWEST ELEVATION (2)





TOP OF CURB T.O.C. = 37.0



MATERIALS LEGEND

- A. EXTERIOR CEMENT PLASTER WITH DECORATIVE REVEALS, 20/30 SAND FINISH
- PAINTED METAL AWNING
- MANUFACTURED STONE VENEER
- RECLAIMED WOOD SIDING
- PLASTER CORNICE WITH SMOOTH FINISH
- PLASTER TRIM WITH 20/30 SAND FINISH
- GLASS GUARDRAIL
- FIBERGLASS WINDOW WITH INTERIOR WOOD JAMB EXTENSIONS
- GLASS PANEL ENTRY DOOR
- LOUVERED GARAGE VENTILATION OPENING
- METAL GARAGE GATE
- DECORATIVE LIGHT FIXTURE
- TRANSFORMER



PROPOSED SIDE ELEVATION - NORTHWEST (2)





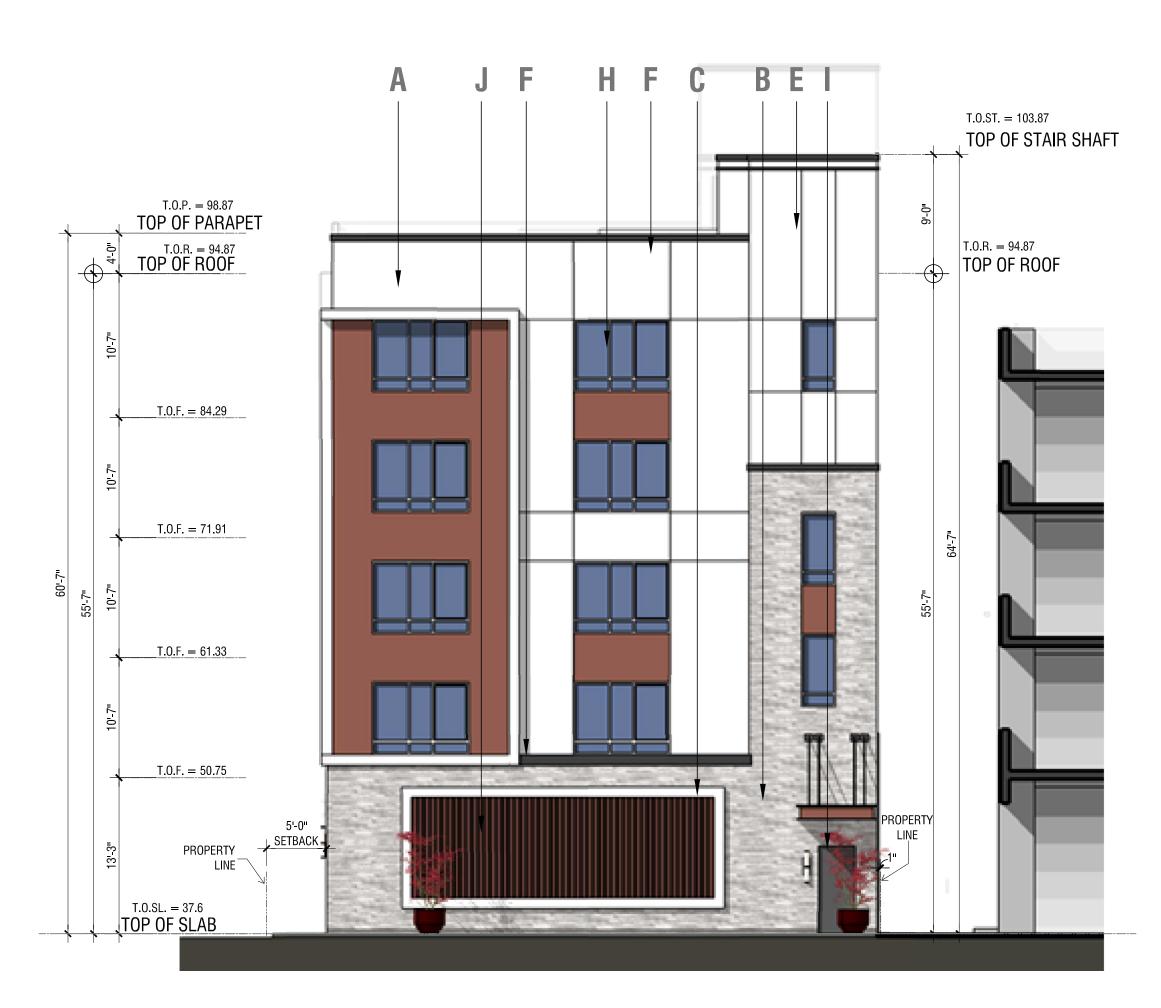
1110 BURLINGAME AVE. SUITE 211 BURLINGAME, CALIFORNIA 94010

MATERIALS LEGEND

- EXTERIOR CEMENT PLASTER WITH DECORATIVE REVEALS, 20/30 SAND FINISH
- PAINTED METAL AWNING
- MANUFACTURED STONE VENEER
- RECLAIMED WOOD SIDING
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- METAL GARAGE GATE
- DECORATIVE LIGHT FIXTURE



APPROVED REAR ELEVATION - NORTHEAST (1)



PROPOSED REAR ELEVATION - NORTHEAST (2)



ORANGE COUNTY. LOS ANGELES. BAY AREA

LORTON HEIGHTS



ENTITLED SIDE ELEVATION - SOUTHEAST (1)

MATERIALS LEGEND

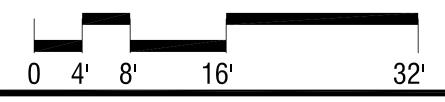
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- METAL GARAGE GATE
- DECORATIVE LIGHT FIXTURE



PROPOSED SIDE ELEVATION - SOUTHEAST (2)

MURPHY WOOD INC.

1110 BURLINGAME AVE. SUITE 211 BURLINGAME, CALIFORNIA 94010



LORTON HEIGHTS

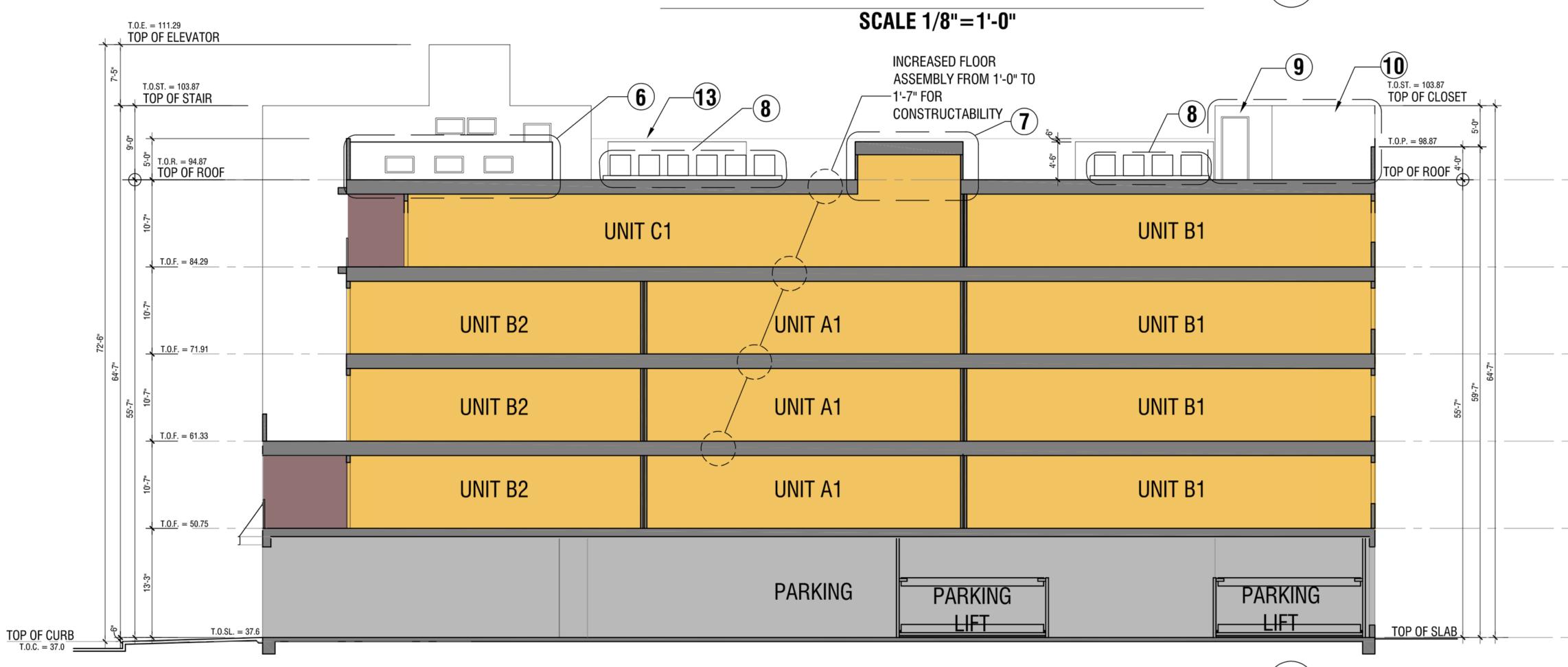
128 LORTON AVE. BURLINGAME, CALIFORNIA BUILDING ELEVATIONS A2.3



UNIT B1 UNIT C1 UNIT B1 UNIT B2 UNIT A1 UNIT B2 UNIT A1 UNIT B1 UNIT B2 UNIT A1 UNIT B1 PARKING APPROVED BUILDING SECTION

NOTES - BUILDING SECTIONS

- CLEAR STORY POP-UP ROOFS AT LIVING AREAS WITH 2'-0" HIGH WINDOWS FOR CLERESTORIES
- VAULTED CEILING IN UNIT C1 BEDROOM. 4'-6" ABOVE TOP OF ROOF, 6" BELOW PARAPET.
- A/C CONDENSER LOCATIONS
- FIRE DEPARTMENT ROOF ACCESS
- **BOILER ROOM**
- INCREASED HEIGHT OF PARAPETS TO HIDE MECH./ EQUIPMENT. SEE SECTIONS FOR MORE DETAIL



PROPOSED BUILDING SECTION

2

SCALE 1/8"=1'-0"

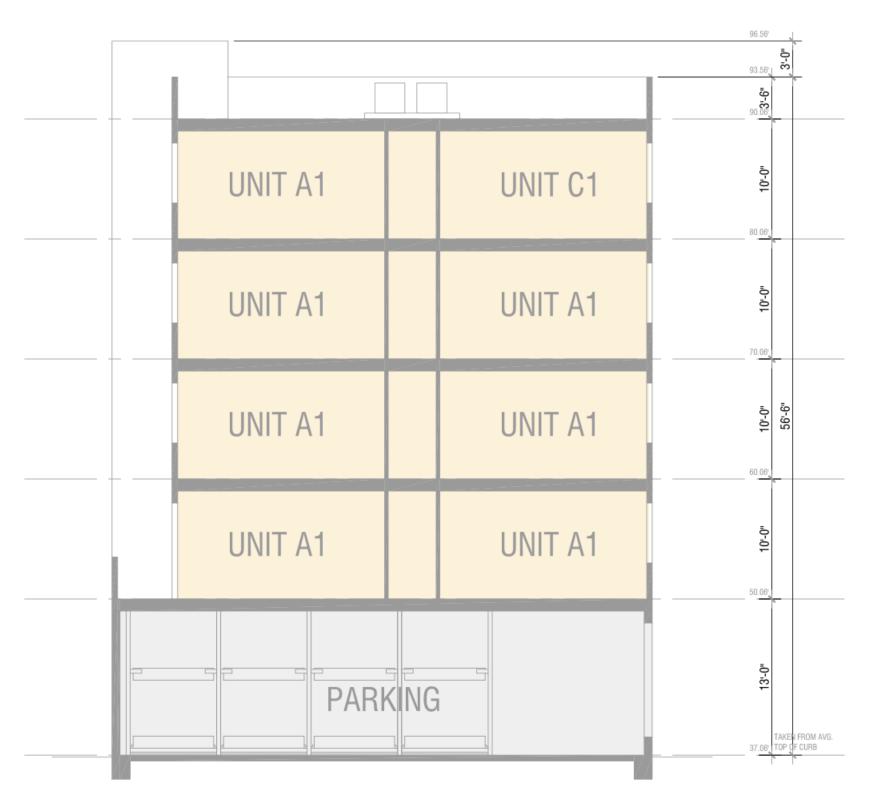
MURPHY WOOD INC.

0 4' 8'

LORTON HEIGHTS

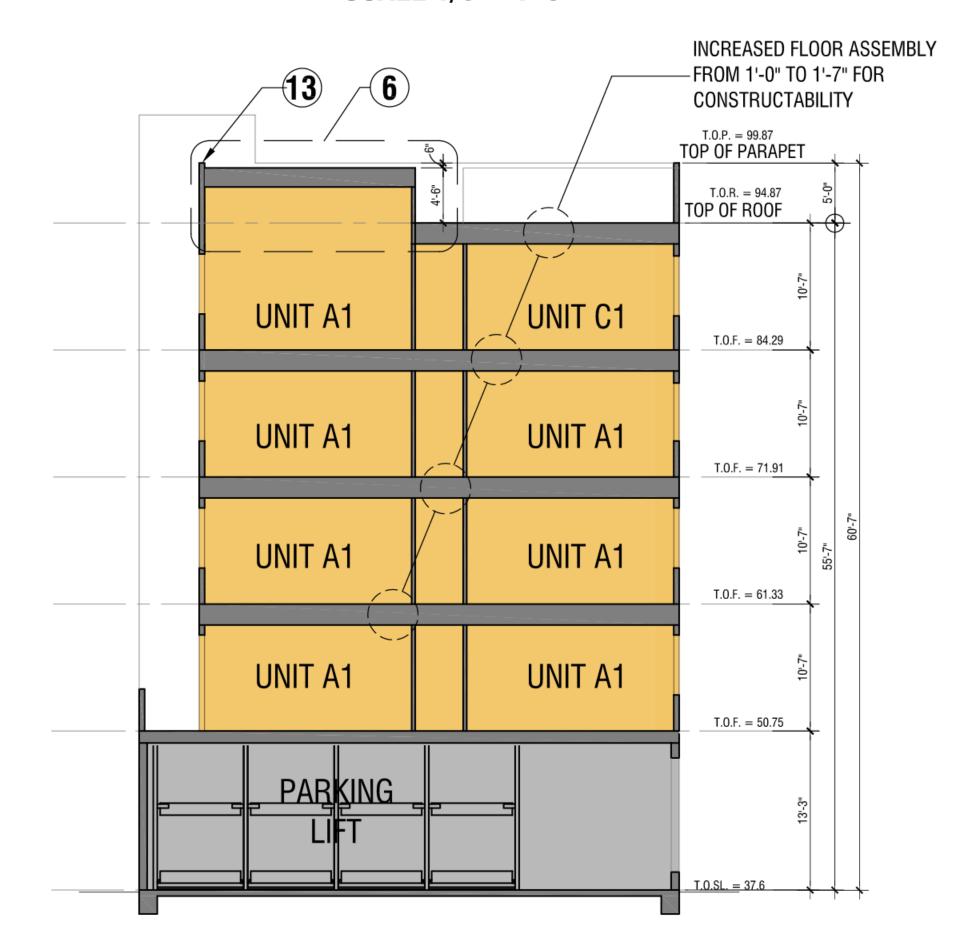
BUILDING SECTIONS A3.0





APPROVED BUILDING SECTION (1)

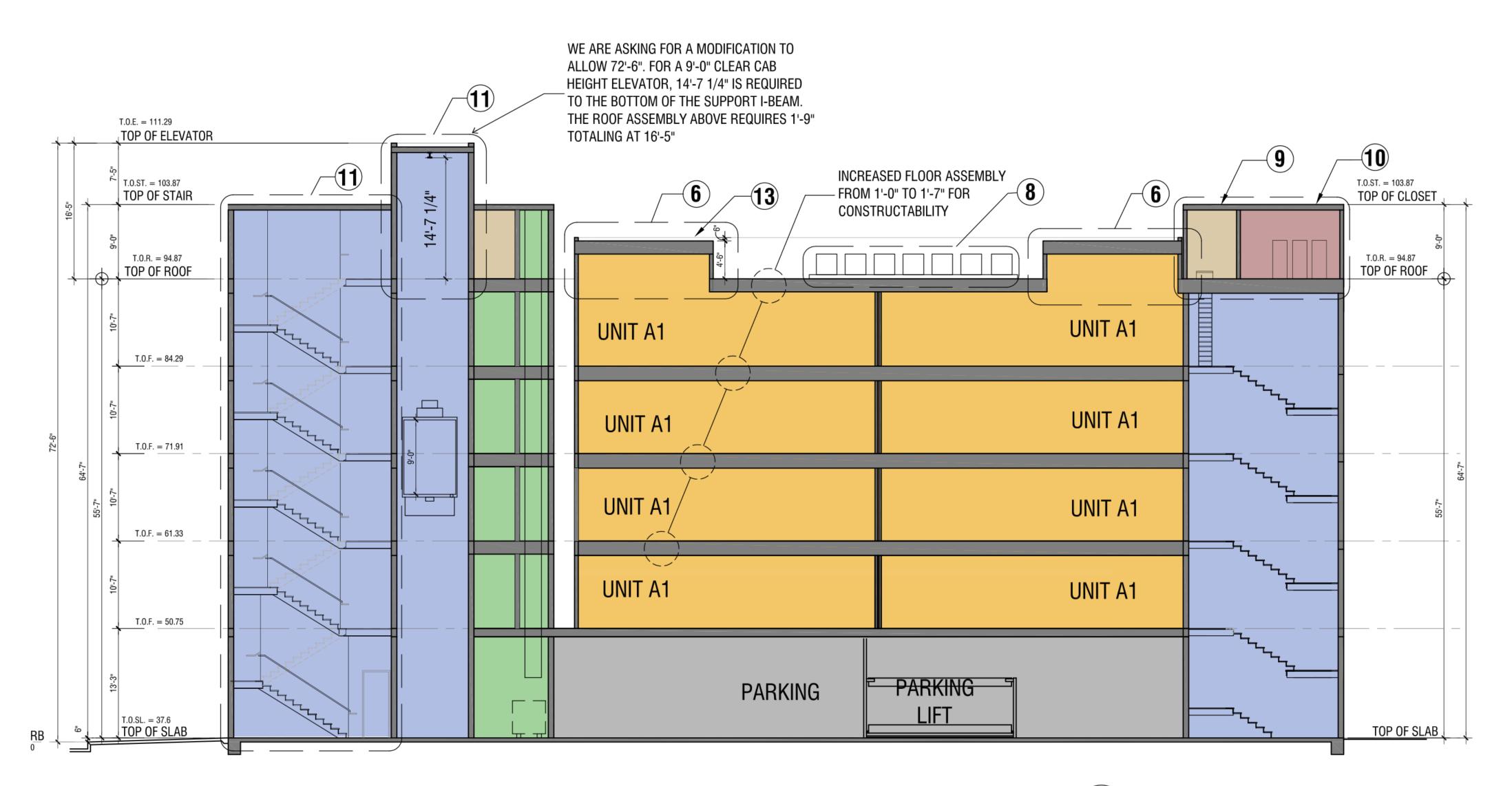
SCALE 1/8"=1'-0"



PROPOSED BUILDING SECTION 2 SCALE 1/8"=1'-0"

NOTES - BUILDING SECTIONS

- 6. CLEAR STORY POP-UP ROOFS AT LIVING AREAS WITH 2'-0" HIGH WINDOWS FOR CLERESTORIES
- 8. A/C CONDENSER LOCATIONS
- 9. FIRE DEPARTMENT ROOF ACCESS
- 10. BOILER ROOM
- 11. STAIR AND ELEVATOR ACCESS TO THE ROOF FOR MAINTENANCE.
- 12. POTENTIAL SOLAR PANEL LOCATION FOR (HOUSE PANEL POWER)
- 13. INCREASED HEIGHT OF PARAPETS TO HIDE MECH./
 EQUIPMENT. SEE SECTIONS FOR MORE DETAIL



PROPOSED BUILDING SECTION (3)

SCALE 1/8"=1'-0"

MURPHY WOOD INC.

1110 BURLINGAME AVE. SUITE 211
BURLINGAME, CALIFORNIA 94010

0 4' 8' 16' 32'

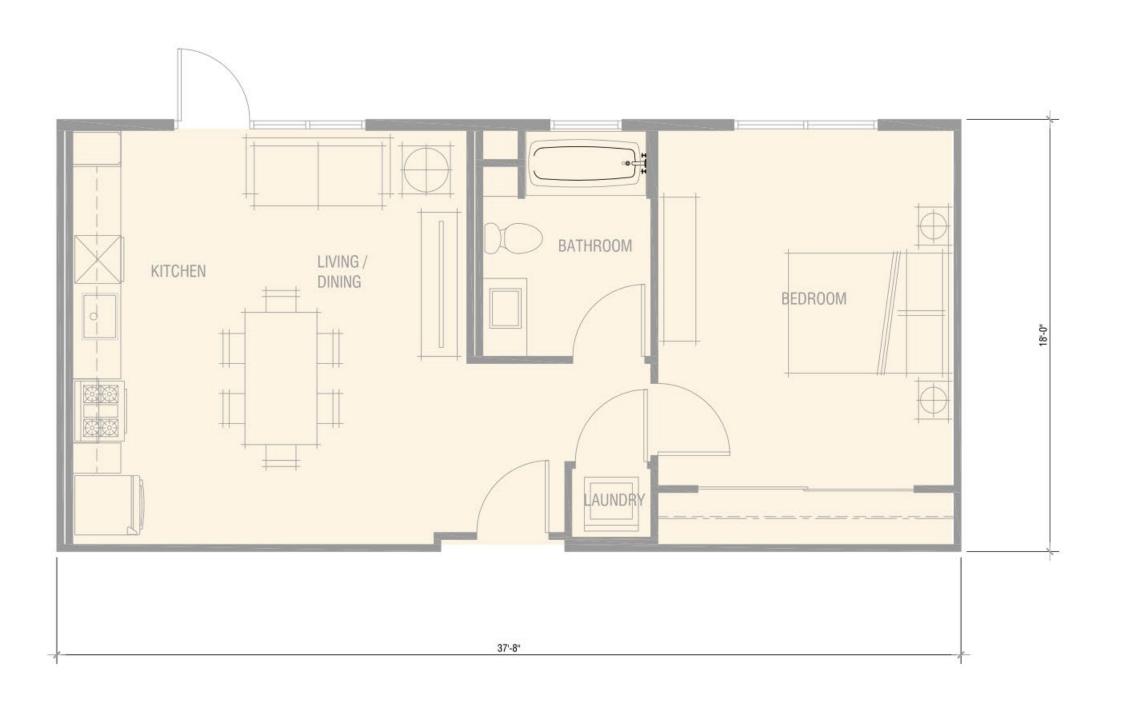
LORTON HEIGHTS

BUILDING SECTIONS A3.1



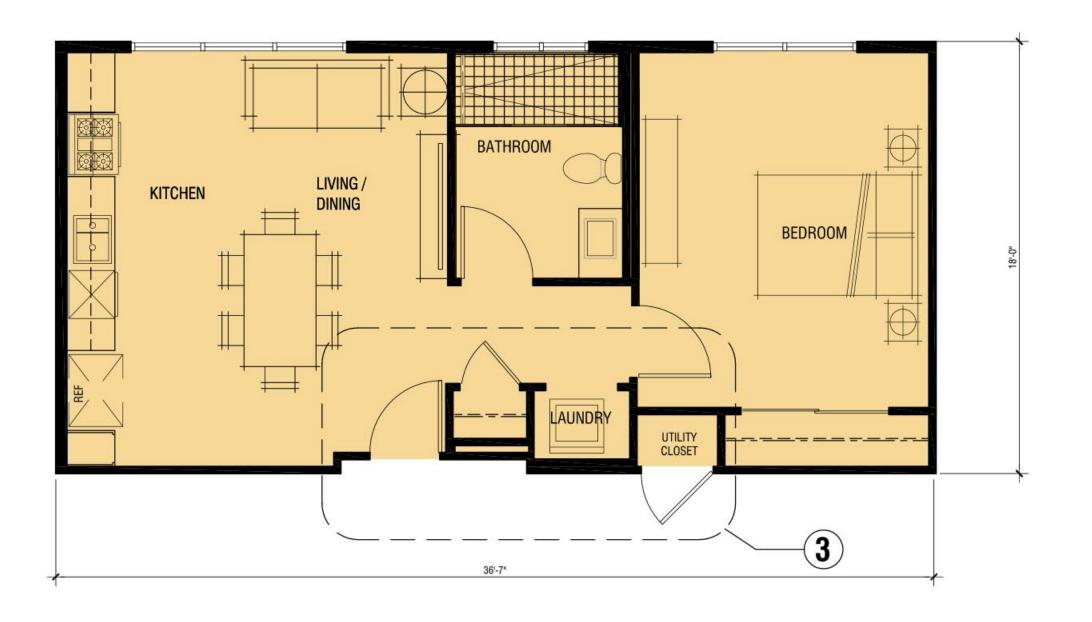
NOTES - UNIT PLANS

3. UNIT A1 - INTERIOR ENTRY MODIFIED AND UTILITY CLOSET ADDED TO CORRIDOR.



APPROVED UNIT A1

SCALE 1/4"=1'-0" 675 S.F.



PROPOSED UNIT A1

SCALE 1/4"=1'-0" 660 S.F.





128 LORTON AVENUE

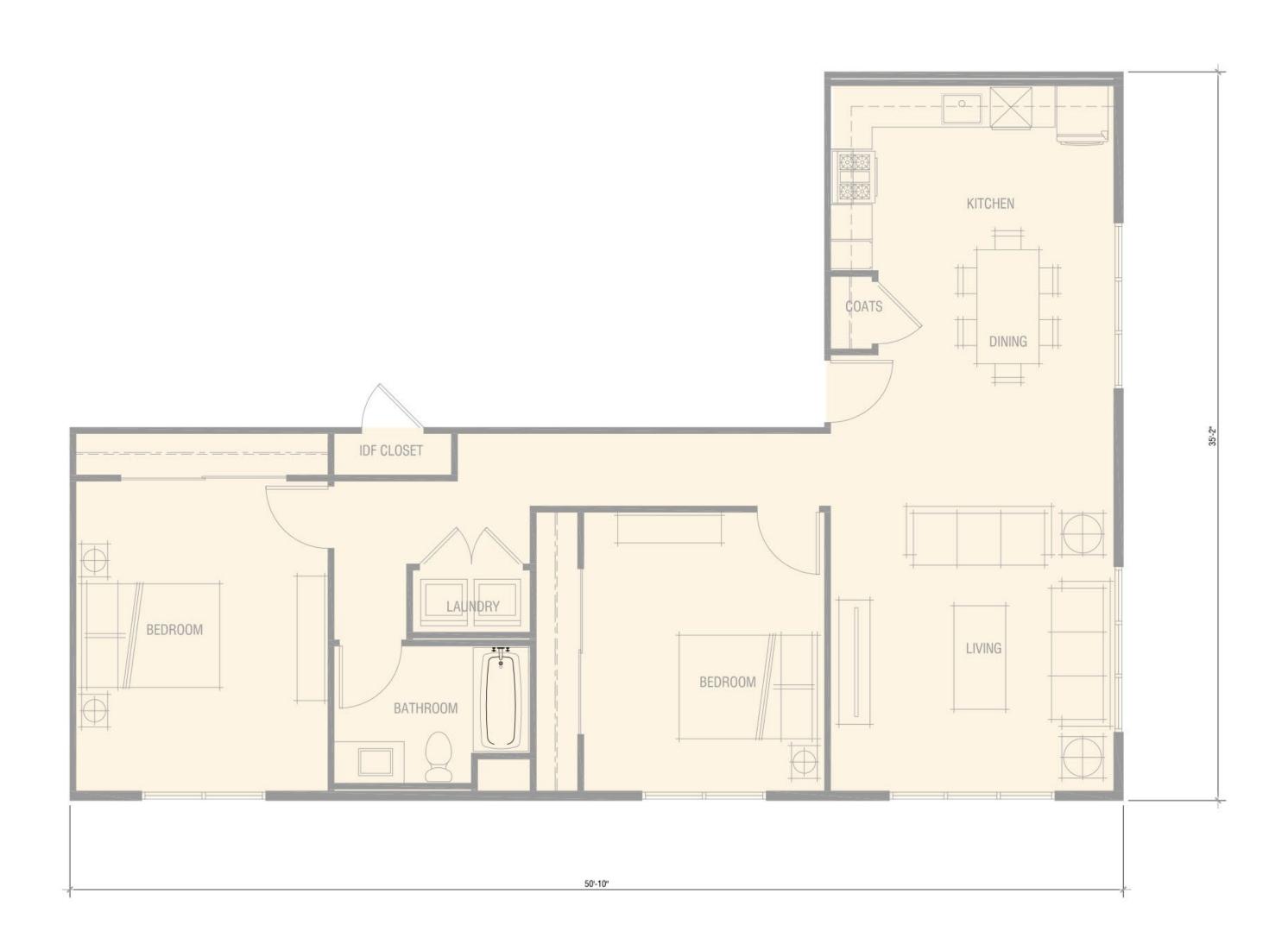
ENLARGED UNIT PLANS A4.0

ITV DONIIC AMENDMENT EOD HEICHT CONCIDEDATIO

ORANGE C

NOTES - UNIT PLANS

14. UNIT B1 - IDF CLOSET REMOVED



APPROVED UNIT B1

SCALE 1/4"=1'-0" 1,150 S.F.



PROPOSED UNIT B1

SCALE 1/4"=1'-0" 1,115 S.F.

NOTES - UNIT PLANS

4. UNIT B2 - REDESIGNED UNIT CHANGES EXTERIOR WINDOW LOCATIONS. SEE ELEVATIONS FOR MORE INFORMATION.



APPROVED UNIT B2

SCALE 1/4"=1'-0" 950 S.F.



PROPOSED UNIT B2

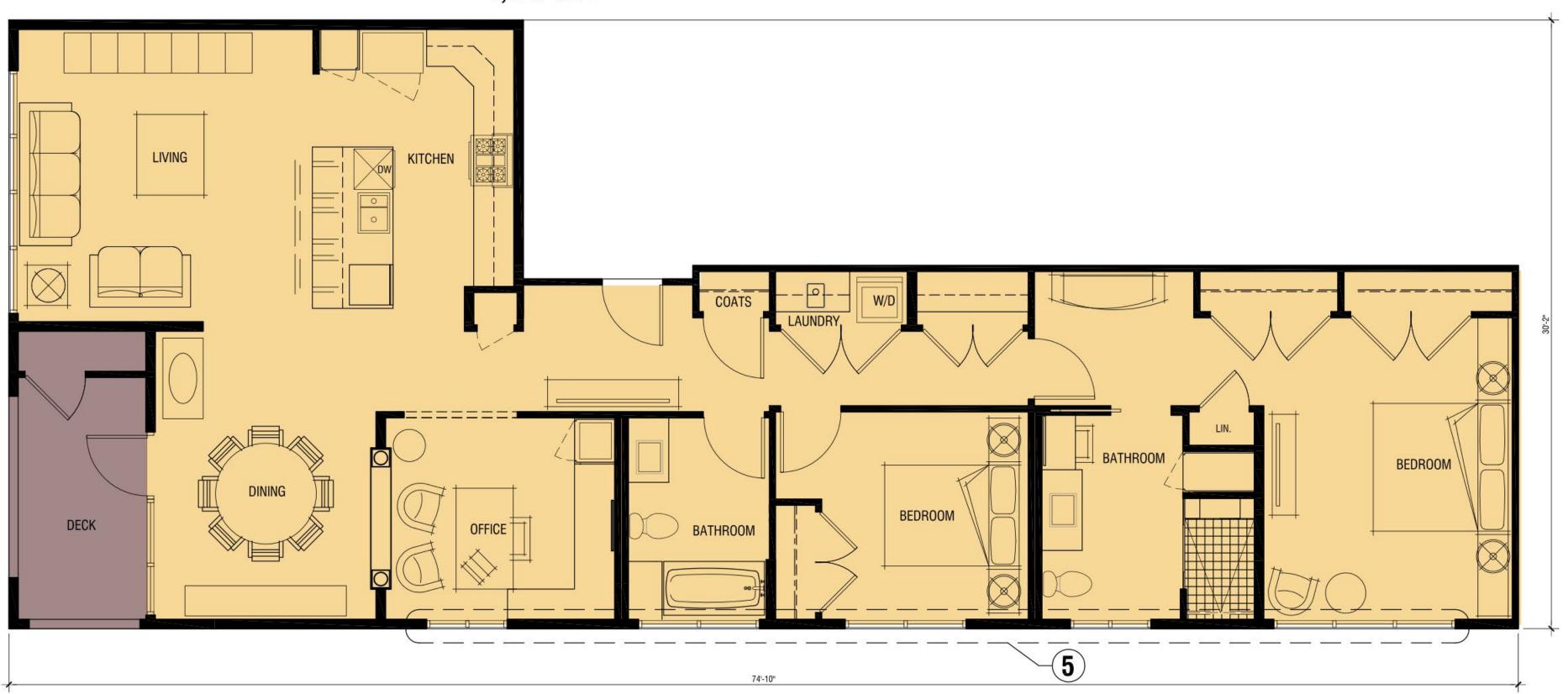
SCALE 1/4"=1'-0" 995 S.F.

BURLINGAME, CALIFORNIA



APPROVED UNIT C1

SCALE 1/4"=1'-0" 1,528 S.F.



NOTES - UNIT PLANS

5. UNIT C1 - REDESIGNED UNIT CHANGES EXTERIOR WINDOW LOCATIONS. SEE ELEVATIONS FOR MORE INFORMATION.

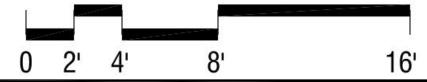
PROPOSED UNIT C1

SCALE 1/4"=1'-0" 1,651 S.F.

MURPHY WOOD INC.

1110 BURLINGAME AVE. SUITE 211

BURLINGAME, CALIFORNIA 94010



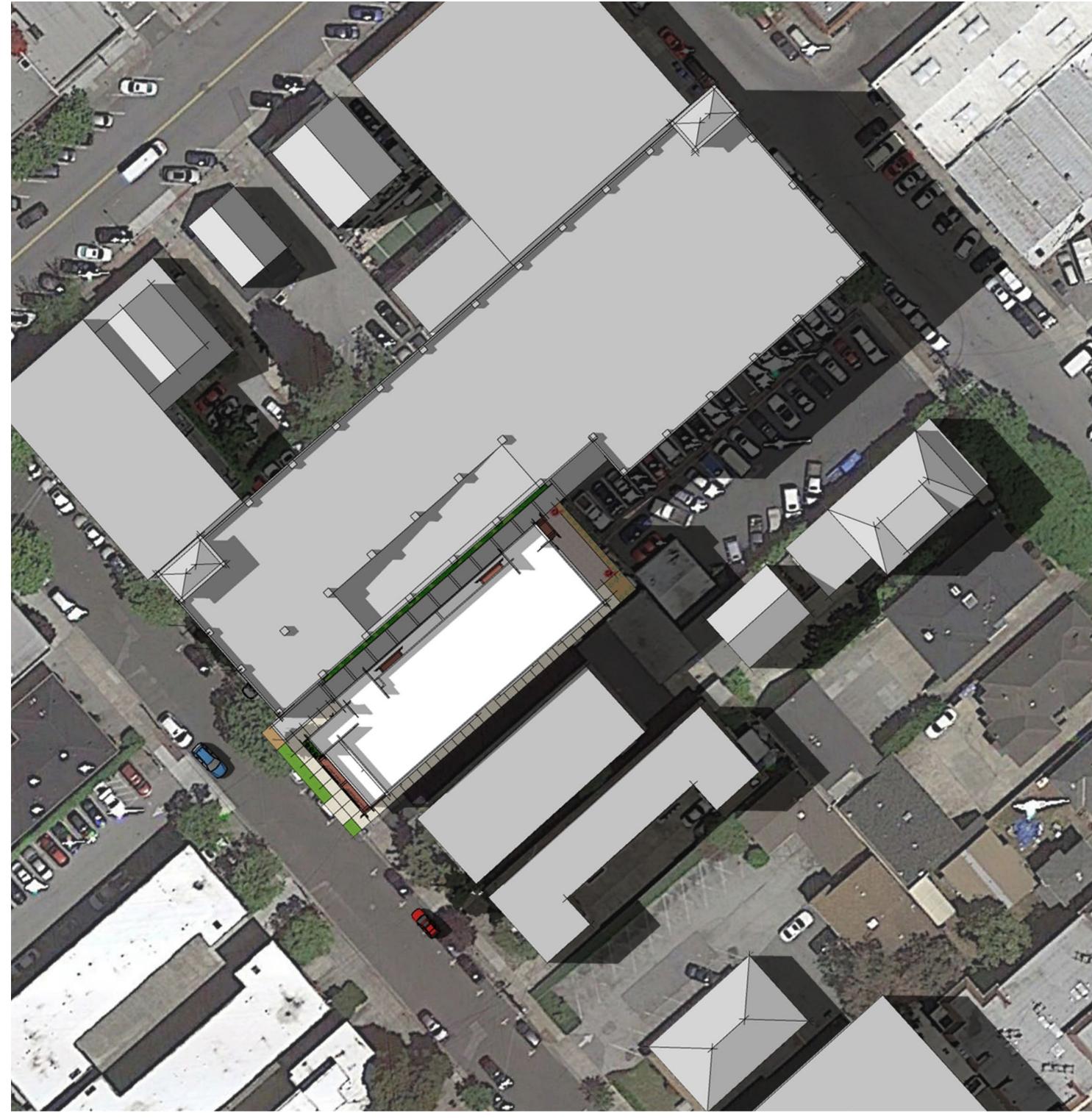
128 LORTON AVENUE

ENLARGED UNIT PLANS A4.3

NΠΛ

DENSITY BONUS AMENDMENT FOR HEIGHT CONSIDERATION
05-15-23

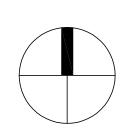




APPROVED SHADOW STUDY A - June 21, 4:00 PM



PROPOSED SHADOW STUDY A - June 21, 4:00 PM

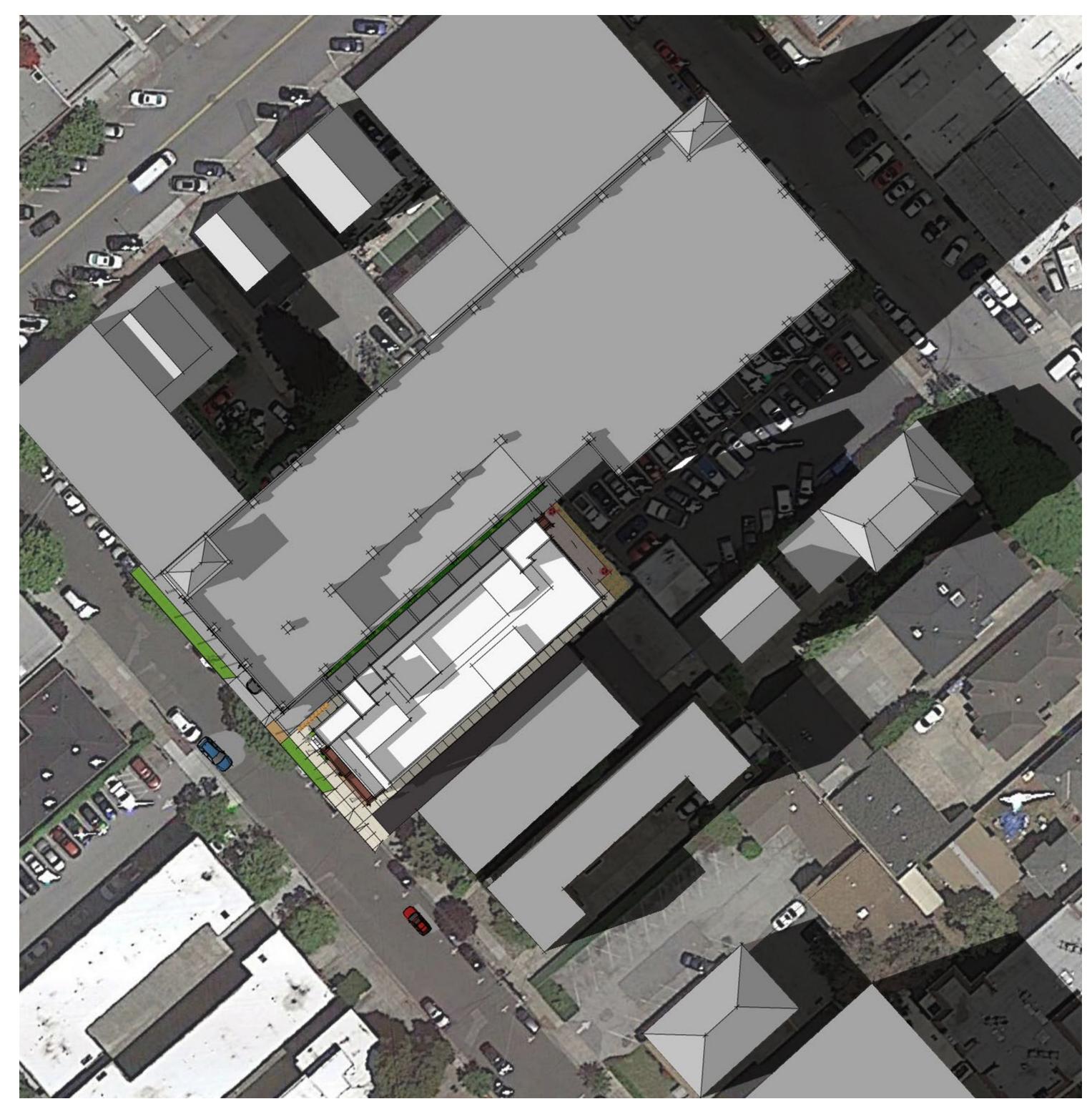




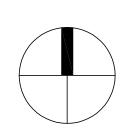
MURPHY WOOD INC.



APPROVED SHADOW STUDY B - Sept. 21, 4:00 PM



PROPOSED SHADOW STUDY B - Sept. 21, 4:00 PM





MURPHY WOOD INC.